



300 E Hyman Avenue



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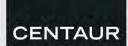
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### 1.1 Purpose

The purpose of this Construction Management Plan (CMP) Manual is to provide a consistent policy under which certain physical aspects of construction management will be implemented at the 300-312 East Hyman Avenue project.

300-312 East Hyman Avenue (Crystal Palace) is a 9,000 square foot lot that is currently an abandoned two story with basement structure awaiting demolition. This historical structure is located on a prominent corner in the commercial core of Aspen. Historic features of the property include turn of the century brickwork, decorative flourishes, and an antique painted cigar sign located on the corner. The redevelopment of the property into a boutique hotel brings the historic elements of the building front and center. Preservation of the historic walls are a key part of the redevelopment plan.

(Reference the attached Historic Preservation Plan in Section 3.1 for additional building history and information).

If the project changes ownership or contracting services change, the City Engineering Department will be notified, and new entity must agree to comply with this approved CMP in writing. Any departure from this approved CMP will be submitted in writing and approved by the City Engineer. This approved CMP will be kept onsite at all times.



#### 1.2 Definitions

<u>Construction Management Plan (CMP)</u> - This Construction Management Plan is a combination of diagrams, documents, drawings, and specifications that clearly define the steps that will be taken to demonstrate how the impacts to the community will be minimized.

<u>Construction Mitigation Officer (CMO)</u> - An appointed employee of the City of Aspen whose charge is to ensure that all aspects of this CMP are followed, and further ensure that the impacts associated with the construction activities within the City of Aspen are effectively managed with impacts associated with this project are the least necessary to accomplish the project.

<u>Disturbance Area</u> - A portion of land where topsoil or native soils have been removed for the purposes of construction (development).

<u>Best Management Practices (BMP)</u> - Schedules of activities, prohibitions of practices, maintenance procedures, and other management practices to prevent or reduce the pollution of waters of the state. BMP's also include treatment requirements, operation procedures and practices to control site runoff, spillage or leaks, waste disposal, or drainage from material storage.

<u>Tree Dripline and Protection Zone</u> - The radius circle from the center of the tree to the end of the longest branch of the tree. The Protection Zone is delineated on the site logistics plan set forth by Parks Department.

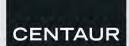
<u>Final Stabilization</u> - The point at which uniform vegetative cover has been established with a density of at least 70 percent of pre-disturbed levels.

<u>Agreement</u> - Written Agreement between the Owner and Contractor covering the Work to be performed.

Owner - The Owner and Developer of the 300-312 E. Hyman Avenue property referenced in the document, specifically 312 E. Hyman Avenue, LLC.

<u>Contractor</u> - The person, firm or corporation with whom the Owner has entered into the agreement, specifically Centaur Construction Company, Inc.

<u>Engineer</u> - The person, firm or corporation named as such in the Agreement.



<u>Subcontractor</u> - The individual or corporation having direct contact with the Contractor, or with other Subcontractors, to complete a portion of the Work at the site.

<u>Work</u> - The entire completed construction, or the separate, various identifiable parts, thereof required to be furnished under this agreement. The Work is a direct result of performing services, furnishing labor, and incorporating materials and equipment into the construction as required by the Agreement.



### 2.1 Disturbance Area

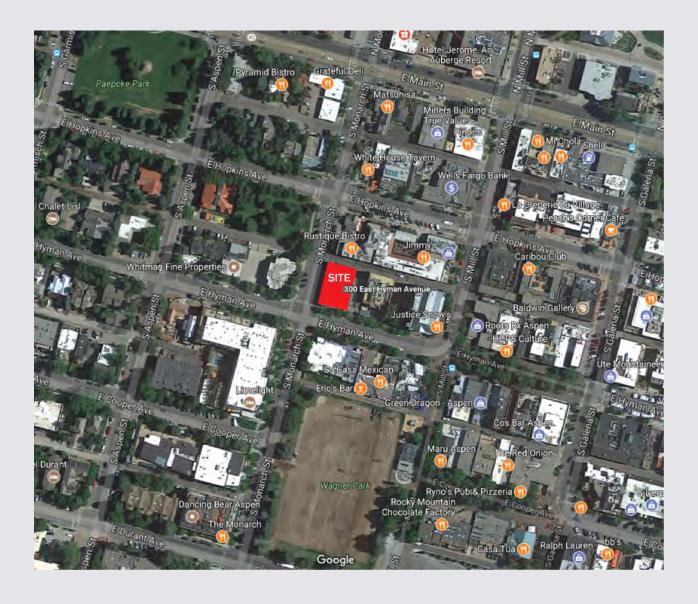
The site is approximately 12,424 square feet encompassing the Northeast corner of Monarch Street and Hyman Avenue in Aspen, Colorado. The proposed building abuts the existing 314 E. Hyman (Motherlode) building to the East with the Katie Reed Building directly across the alley to its North. Public sidewalks on East Hyman, South Monarch, and Alley, adjacent to the property will have to be removed and replaced during construction operations and the asphalt road will need to be cut/patched in performance of the building's utility service work and civil improvements. The historic wall will remain while the three-story redevelopment will be set back for the building facade. Soil disturbance shall be kept to a minimum and confined to the footprint of the site and the immediate adjacent sidewalks and alley. The primary construction staging zone shall be limited to the area immediately adjacent to the South side of the site and utilize both West and South elevations once the bracing system has been removed or as allowed.

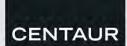
(Reference the attached Site Logistics Plan in Section 5 for locations).



#### 2.2 Location

300 E. Hyman, Aspen, Colorado





### 2.3 Description

The subject property is located on the NEC of Monarch St. and Hyman Ave. in Aspen, CO. The existing building is an abandoned two story with basement structure awaiting demolition. This historical structure is located on a prominent corner in the commercial core of Aspen. Historic features of the property include turn of the century brickwork, decorative flourishes, and an antique painted cigar sign located on the corner. The redevelopment of the property into a boutique hotel brings the historic elements of the building front and center. Preservation of the historic wall is a key part of the redevelopment plan. The historic wall will remain while the three-story redevelopment will be set back for the building facade. The structure is brought up to modern-day standards by adding an additional story, while maintaining the character of the historic brick walls. The preservation of the existing building includes restoration of the fenestration to its original condition. The redevelopment will have a modern feel, made up of metal, glass, and contemporary brick, contrasting the historic wall with the addition of recessed planes, exposed steel frames, and abundant glazing. The third level setback creates a roof terrace and panoramic vista unlike any other. The setback creates private outdoor terraces and a spacious outdoor gathering area for all guests. Jacuzzi's, pool, and fire pits add to the luster of the outdoor space.

The project will include new utility services consisting of electric, phone, gas, water, and sanitary sewers that will require removal and patching of asphalt/pavers at both the alley behind the property and within the ROW adjacent to the property. Storm water will be managed through the use of underground drywells on site, with a pump to route the 100-year post development storm event up to the alley.

(Reference the attached Historic Preservation Plan in Section 3.1 for additional building history and information).



#### 3.1 **Permits**

The Contractor will apply for and comply with all applicable local, state, and federal licenses and permits applicable to the project. The licenses and permits may include:

- City of Aspen Contractor License
- City of Aspen Building Permit
- City of Aspen Access Infrastructure/Excavation Permit
- City of Aspen Encroachment License
- City of Aspen Engineering Department Right of Way Permit
- City of Aspen Tree Removal/Drip Line Excavation Permit
- City of Aspen Application for Construction Parking Spaces
- City of Aspen Temporary Heating Plan
- Construction Site Safety Rules Regarding Temporary Heat
- Pitkin County Fugitive Dust Control Plan





#### DEVELOPMENT ORDER

of the City of Aspen Community Development Department

This Development Order, hereinafter "Order", is hereby issued pursuant to Section 26.304.070, "Development Orders", and Section 26.308.010, "Vested Property Rights", of the City of Aspen Municipal Code. This Order allows development of a site specific development plan pursuant to the provisions of the land use approvals, described herein. The effective date of this Order shall also be the initiation date of a three-year vested property right. The vested property right shall expire on the day after the third anniversary of the effective date of this Order, unless a building permit application submittal is accepted and deemed complete by the Chief Building Official, pursuant to Section 26.304.090, or unless an exemption, extension, reinstatement, or a revocation is issued by City Council pursuant to Section 26.308.010. After Expiration of vested property rights, this Order shall remain in full force and effect, excluding any growth management allotments granted pursuant to Section 26.470, but shall be subject to any amendments to the Land Use Code adopted since the effective date of this Order.

This Development Order is associated with the property noted below for the site specific development plan as described below.

312 E. Hyman Avenue, LLC, Mark Hunt Manager, 2001 N. Halsted Street, Ste. 304, Chicago, IL 60614.

Property Owner's Name, Mailing Address

300-312 E. Hyman Avenue, Lots K, L, and M, Block 81, aka Crystal Palace Subdivision, City and Townsite of Aspen, Colorado, PID#2737-073-38-009.

Legal Description and Street Address of Subject Property

Approval has been granted to renovate and expand the existing building commonly known as The Crystal Palace in order to develop a lodge and restaurant.

Written Description of the Site Specific Plan and/or Attachment Describing Plan

Final Major Development approval was granted on February 8, 2017 by the Aspen Historic Preservation Commission via Resolution #4, Series of 2017. Growth Management allocations for lodge development were granted on March 22, 2017 by the Aspen Historic Preservation

Commission via Resolution #7, Series of 2017.

Land Use Approval(s) Received and Dates (Attach Final Ordinances or Resolutions)

April 20, 2017.

Effective Date of Development Order (Same as date of publication of notice of approval.)

April 20, 2020.

Expiration Date of Development Order (The extension, reinstatement, exemption from expiration and revocation may be pursued in accordance with Section 26.308.010 of the City of Aspen Municipal Code.)

Issued this 20th day of April, 2017, by the City of Aspen Community Development Director.

Jessica Garrow, Community Development Director

### AFFIDAVIT OF PUBLIC NOTICE REQUIRED BY SECTION 26.304.070 AND CHAPTER 26.306

×	ASPEN LAND USE CO	ODE	
ADDRESS OF PROPERTY	i: 300-312 E.	Hyman sue.	
4			
STATE OF COLORADO	) ) en	. *	
County of Pitkin	) ss. )	, ,	
1 Amola Se	een	(name, please print)	
being or representing an App I have complied with the pub 26.306.010 (E) of the Aspen	lic notice requirements of Sec	Colorado, hereby personally certify that ction 26.304.060 (E) or Section	
or a paper of general	circulation in the City of Aspe	gal notice section of an official paper en no later than fourteen (14) days plan. A copy of the publication is	
or a paper of general of	circulation in the City of Aspe	gal notice section of an official paper en no later than fifteen (15) days after publication is attached hereto.	
	Signature	2 Sen	1
The foregoing "Affidavit of I	Notice" was acknowledged be 2007, by <u>Angele</u>	efore me this 20day	
PUBLIC NOTICE	WITNESS MY I	HAND AND OFFICIAL SEAL	
DEVELOPMENT APPROVAL	My commission	expires: 246/20	
Notice is hereby given to the general public of the approval of a site-specific development plan, and the control of the second property right pursuant to the Land Lie a costed property right pursuant to the Land Lie and L	Notary Public	Red Pattersu	
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pen, Colorado. (870) 429 2758.		my commission expires remutity to, 2	UZU

1200 W LAKE STREET SUITE 200 CHICAGO ILLINOIS 60607

P 312 644 4470 F 312 644 4472 CENTAURCO.COM

#### RESOLUTION #4 (SERIES OF 2017)

A RESOLUTION OF THE ASPEN HISTORIC PRESERVATION COMMISSION GRANTING FINAL MAJOR DEVELOPMENT AND FINAL COMMERCIAL DESIGN-REVIEW FOR 300-312 E. HYMAN AVENUE, LOTS K, L, AND M, BLOCK 81, AKA CRYSTAL PALACE SUBDIVISION, CITY AND TOWNSITE OF ASPEN, PITKIN COUNTY, COLORADO

Parcel ID: 2737-073-38-009

WHEREAS, the Community Development Department received an application from 312 E. Hyman Avenue, LLC, represented by represented by BendonAdams and Modif Architecture, for the following land use review approvals: Final Major Development and Final Commercial Design Review; and

WHEREAS, the Community Development Department received referral comments from the Aspen Consolidated Sanitation District, City Engineering, Building Department, Environmental Health Department, Parks Department, Parking Department, and Utilities as a result of a Development Review Committee meeting held on February 3, 2016; and,

WHEREAS, the Aspen Community Development Department reviewed the proposed Application and recommended approval with conditions; and,

WHEREAS, the Historic Preservation Commission reviewed the Application at a duly noticed public hearing on February 8, 2017, during which time the recommendations of the Community Development Director and comments from the public were requested and heard by the Historic Preservation Commission; and,

WHEREAS, during a duly noticed public hearing on February 8, 2017, the Historic Preservation Commission approved Resolution #4, Series of 2017, by a 7 to 0 vote, granting approval with the conditions listed hereinafter.

NOW, THEREFORE BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF ASPEN, COLORADO THAT:

#### Section 1:

Pursuant to the procedures and standards set forth in Title 26 of the Aspen Municipal Code, the Historic Preservation Commission hereby grants Final Major Development and Final Commercial Design approval with the following conditions:

- Resolution of all of the conditions of approval will be via submittal of drawings for review and approval by staff and monitor prior to building submittal. Some of the final details will need to be resolved in the field once more information is revealed as part of the demolition process.
- 2. HPC allows for the reconstruction of the upper floor of the historic resource, using the proposed preservation plan, historic photos and physical evidence as a guide. All details are to be reviewed and approved by staff and monitor.

RECEPTION#: 637584, R: \$18.00, D: \$0.00 DOC CODE: RESOLUTION Pg 1 of 2, 04/14/2017 at 03:39:30 PM Janice K. Vos Caudill, Pitkin County, CO Historic Preservation Commission Resolution #4, Series 2017 Page 1 of 3



- The applicant must provide their best documentation of the number of courses of brick that
  can be determined from historic photos in order to establish the accurate historic height of
  the historic resource and adjust the plans accordingly.
- Restudy the south and west facades of the historic resource so that the storefront cornice is
  only on the south façade and sits right at the top of the windows, concealing any lintel
  element.
- Restudy the storefronts on the Hyman Avenue façade of the historic resource. Consider the creation of two pairs of double doors in at least the western bay.
- All fenestration on the ground floor of the historic resource must be wood. Upper floor windows may be metal clad.
- Cut sheets of all doors and windows on the historic resource must be provided for review and approval by staff and monitor.
- 8. The hotel entrance shall be clad in brick.
- 9. Samples of all materials must be provided for review and approval by staff and monitor.
- All dimensional calculations will be verified for compliance with the land use code at the time of building permit review.

#### Section 2:

Pursuant to the procedures and standards set forth in Title 26 of the Aspen Municipal Code, the Applicant is required to obtain Growth Management approval.

#### Section 3:

All material representations and commitments made by the Applicant pursuant to the development proposal approvals as herein awarded, whether in public hearing or documentation presented before the Community Development Department and the Historic Preservation Commission are hereby incorporated in such plan development approvals and the same shall be complied with as if fully set forth herein, unless amended by other specific conditions or an authorized authority.

#### Section 4

This Resolution shall not affect any existing litigation and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the ordinances repealed or amended as herein provided, and the same shall be conducted and concluded under such prior ordinances.

#### Section 5:

If any section, subsection, sentence, clause, phrase, or portion of this Resolution is for any reason held invalid or unconstitutional in a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and shall not affect the validity of the remaining portions thereof.

Historic Preservation Commission Resolution #4, Series 2017 Page 2 of 3



FINALLY, adopted, passed and approved this 8th day of February, 2017.

Approved as to content:

Jeffrey Halferty, Chair

Approved as to form:

Andrea Bryan, Assistant City Attorney

ATTEST:

Nicole Henning, Deputy City Clerk

Historic Preservation Commission Resolution #4, Series 2017 Page 3 of 3



RECEPTION#: 637587, R: \$23.00, D: \$0.00 DOC CODE: RESOLUTION Pg 1 of 3, 04/14/2017 at 03:39:33 PM Janice K. Vos Caudill, Pitkin County, CO

RESOLUTION #7 (SERIES OF 2017)

A RESOLUTION OF THE ASPEN HISTORIC PRESERVATION COMMISSION GRANTING GROWTH MANAGEMENT APPROVAL FOR 300-312 E. HYMAN AVENUE, LOTS K, L, AND M, BLOCK 81, AKA CRYSTAL PALACE SUBDIVISION, CITY AND TOWNSITE OF ASPEN, PITKIN COUNTY, COLORADO

Parcel ID: 2737-073-38-009

WHEREAS, the Community Development Department received an application from 312 E. Hyman Avenue, LLC, represented by BendonAdams for the following land use review approval: Growth Management: and

WHEREAS, the application is subject to the City of Aspen Land Use Code in effect on the day of initial application – November 18, 2015, as applicable to this Project; and,

WHEREAS, the Aspen Community Development Department reviewed the proposed Application and recommended approval; and,

WHEREAS, the Historic Preservation Commission reviewed the Application at a duly noticed public hearing on March 22, 2017, during which time the recommendations of the Community Development Director and comments from the public were requested and heard by the Historic Preservation Commission; and,

WHEREAS, during a duly noticed public hearing on March 22, 2017, the Historic Preservation Commission approved Resolution #7, Series of 2017, by a 5 to 0 vote, granting approval with the conditions listed hereinafter.

NOW, THEREFORE BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF ASPEN, COLORADO THAT:

#### Section 1:

Pursuant to the procedures and standards set forth in Title 26 of the Aspen Municipal Code, the Historic Preservation Commission hereby grants Growth Management approval for 300-312 E. Hyman Avenue with the following conditions:

- The Transportation Impact Analysis is approved as proposed. Any revisions shall be approved by the City of Aspen Engineering Department.
- HPC has approved the allocation of 40 lodge pillows from the 2017 Growth Management program. Because the project generates fewer FTEs than the existing development (see Table A), no affordable housing mitigation is due.

Table A. FTE Calculation

Existing FTEs (Credit)	54.19 FTEs
Approved Project	28.5 FTEs
Net Change	-25.69 FTEs

Historic Preservation Commission Resolution #7, Series 2017 Page 1 of 3



#### Section 2:

All material representations and commitments made by the Applicant pursuant to the development proposal approvals as herein awarded, whether in public hearing or documentation presented before the Community Development Department and the Historic Preservation Commission are hereby incorporated in such plan development approvals and the same shall be complied with as if fully set forth herein, unless amended by other specific conditions or an authorized authority.

#### Section 3:

This Resolution shall not affect any existing litigation and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the ordinances repealed or amended as herein provided, and the same shall be conducted and concluded under such prior ordinances.

#### Section 4:

If any section, subsection, sentence, clause, phrase, or portion of this Resolution is for any reason held invalid or unconstitutional in a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and shall not affect the validity of the remaining portions thereof.

#### Section 5: Vested Rights

The development approvals granted herein shall constitute a site-specific development plan vested for a period of three (3) years from the date of issuance of a development order. However, any failure to abide by any of the terms and conditions attendant to this approval shall result in the forfeiture of said vested property rights. Unless otherwise exempted or extended, failure to properly record all plats and agreements required to be recorded, as specified herein, within 180 days of the effective date of the development order shall also result in the forfeiture of said vested property rights and shall render the development order void within the meaning of Section 26.104.050 (Void permits). Zoning that is not part of the approved site-specific development plan shall not result in the creation of a vested property right.

No later than fourteen (14) days following final approval of all requisite reviews necessary to obtain a development order as set forth in this Ordinance, the City Clerk shall cause to be published in a newspaper of general circulation within the jurisdictional boundaries of the City of Aspen, a notice advising the general public of the approval of a site specific development plan and creation of a vested property right pursuant to this Title. Such notice shall be substantially in the following form:

Notice is hereby given to the general public of the approval of a site specific development plan, and the creation of a vested property right, valid for a period of three (3) years, pursuant to the Land Use Code of the City of Aspen and Title 24, Article 68, Colorado Revised Statutes, pertaining to the following described property: 300-312 E. Hyman Avenue.

Nothing in this approval shall exempt the development order from subsequent reviews and approvals required by this approval of the general rules, regulations and ordinances or the City of Aspen provided that such reviews and approvals are not inconsistent with this approval.

Historic Preservation Commission Resolution #7, Series 2017 Page 2 of 3



The approval granted hereby shall be subject to all rights of referendum and judicial review; the period of time permitted by law for the exercise of such rights shall not begin to run until the date of publication of the notice of final development approval as required under Section 26.304.070(A). The rights of referendum shall be limited as set forth in the Colorado Constitution and the Aspen Home Rule Charter.

Approved as to content:

ey Halferty, Chair

FINALLY, adopted, passed and approved this 22nd day of March, 2017.

Approved as to form:

Andrea Bryan, Assistant City Attorney

Nicole Henning, Deputy City Clerk

Historic Preservation Commission Resolution #7, Series 2017 Page 3 of 3



RECEPTION#: 628097, 03/28/2016 at 10:51:11 AM, 1 OF 3, R \$21.00 Doc Code RESOLUTION Janice K. Vos Caudill, Pitkin County, CO

# RESOLUTION #9 (SERIES OF 2016)

A RESOLUTION OF THE ASPEN HISTORIC PRESERVATION COMMISSION GRANTING CONCEPTUAL MAJOR DEVELOPMENT, CONCEPTUAL COMMERCIAL DESIGN REVIEW AND DEMOLITION APPROVAL FOR 300-312 E. HYMAN AVENUE, LOTS K, L, AND M, BLOCK 81, CITY AND TOWNSITE OF ASPEN, PITKIN COUNTY, COLORADO

Parcel ID: 2737-073-38-005 & 2737-073-38-006

WHEREAS, the Community Development Department received an application from 312 E. Hyman Avenue, LLC, represented by Haas Land Planning and Camburas and Theodore, LTD, for the following land use review approvals: Conceptual Major Development, Conceptual Commercial Design Review and Demolition; and

WHEREAS, the Community Development Department received referral comments from the Aspen Consolidated Sanitation District, City Engineering, Building Department, Environmental Health Department, Parks Department, Parking Department, and Utilities as a result of a Development Review Committee meeting held on February 3, 2016; and,

WHEREAS, the Aspen Community Development Department reviewed the proposed Application and recommended continuation for restudy; and,

WHEREAS, the Historic Preservation Commission reviewed the Application at a duly noticed public hearing on March 9, 2016, during which time the recommendations of the Community Development Director and comments from the public were requested and heard by the Historic Preservation Commission; and,

WHEREAS, during a duly noticed public hearing on March 9, 2016, the Historic Preservation Commission approved Resolution #9, Series of 2016, by a 4 to 0 vote, granting approval with the conditions listed hereinafter.

NOW, THEREFORE BE IT RESOLVED BY THE HISTORIC PRESERVATION COMMISSION OF THE CITY OF ASPEN, COLORADO THAT:

#### Section 1:

Pursuant to the procedures and standards set forth in Title 26 of the Aspen Municipal Code, the Historic Preservation Commission hereby grants Conceptual Major Development, Conceptual Commercial Design and Demolition approval, for the project as amended and presented to HPC on March 9, 2016, with the following conditions:

Provision of public amenity, pursuant to Section 26.575.030.C.2, is approved to be off-site, in the right-of-way adjacent to the subject property. The off-site improvements shall be equal or exceed the value of the otherwise required cash-in-lieu payment for 900 square feet of required mitigation (10% of the parcel size) and be consistent with any public infrastructure or capital improvement plan for the area. The improvements are subject to further review and approval by the Engineer Department and Parks Department.

Historic Preservation Commission Resolution #9, Series 2016 Page 1 of 3



- Cash-in-lieu mitigation is required for the removal of the four existing on-site parking spaces.
- At Final review, the applicant must provide a "Transportation Impact Analysis" to assure
  that the minimum requirements are addressed for this project, which is categorized as
  Minor.
- 4. At Final review, the design shall better delineate the old vs. new portions of the building.

#### Section 2:

Pursuant to the procedures and standards set forth in Title 26 of the Aspen Municipal Code, the Applicant is required to obtain Final Major Development Review and Growth Management approval.

A development application for a Final Development Plan shall be submitted within one (1) year of the date of approval of a Conceptual Development Plan. Failure to file such an application within this time period shall render null and void the approval of the Conceptual Development Plan. The Historic Preservation Commission may, at its sole discretion and for good cause shown, grant a one-time extension of the expiration date for a Conceptual Development Plan approval for up to six (6) months provided a written request for extension is received no less than thirty (30) days prior to the expiration date.

#### Section 3:

All material representations and commitments made by the Applicant pursuant to the development proposal approvals as herein awarded, whether in public hearing or documentation presented before the Community Development Department and the Historic Preservation Commission are hereby incorporated in such plan development approvals and the same shall be complied with as if fully set forth herein, unless amended by other specific conditions or an authorized authority.

#### Section 4:

This Resolution shall not affect any existing litigation and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the ordinances repealed or amended as herein provided, and the same shall be conducted and concluded under such prior ordinances.

#### Section 5:

If any section, subsection, sentence, clause, phrase, or portion of this Resolution is for any reason held invalid or unconstitutional in a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and shall not affect the validity of the remaining portions thereof.

Historic Preservation Commission Resolution #9, Series 2016 Page 2 of 3



FINALLY, adopted, passed and approved this 9th day of March, 2016.

Approved as to form:

Debbie Quinn, Assistant City Attorney

Approved as to content:

Willis Pember, Chair

Attest:

Kathy Strickland, Deputy Clerk

Historic Preservation Commission Resolution #9, Series 2016 Page 3 of 3

### **300 East Hyman Preservation Plan**

The building located at 300 East Hyman Avenue, aka the Crystal Palace, has been heavily altered over . me. The applicant is commi ed to restoring the building based on historic photographs. A preliminary preservation plan is proposed to outline the methodology and documentation available and to identify areas that need further study in the field after removal and demoli on of non-historic elements.

### Methodology:

Historic photographs, visual site inspec on and onsite discussion with the Aspen Historic Preservation Officer were used to produce this plan.

### **History**:

This structure is a typical brick commercial building constructed as the town's prosperity grew. Brick provided greater fire protec on than wood, and indicated a sense of "permanence." The oldest part of the building (the western part) was built by S.B. Clark in 1891. Named the Clark Commission Company, it was unlized as a wholesale produce house. In the early 1900s, E. M. Cooper bought the business and changed the name to Aspen Commission Company. The building was later vacant for a period of years, until bought by Mead Metcalf, who operated a dinner theater, "The Crystal Palace," there from 1959 until 2008. The building has had numerous alterations, including additions to the east and rear which obscure the original character. All windows have been replaced and new storefronts have been constructed across the entire south facade. www.aspenvictorian.com

#### **Summary:**

The building is proposed to be accurately restored using available historic photographs. Questions about the original configuration of the storefront are unanswered. Comparing historic photographs to the current condion raise uncertainty about the original height of the Owl Cigar mural and the original height of upper floor window openings. Onsite mock-ups of brick details, as noted, are proposed for review by Staff and monitor during the construction of process. Other items for Staff and monitor include verification of historic elements during demolion.





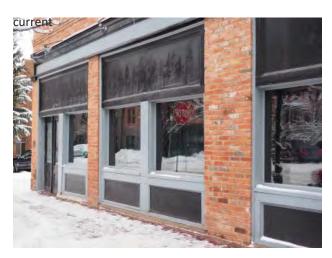
### South Elevation/ Front Façade

**Brick:** The upper floor of the front façade has been entirely reconstructed. In addi on at ground level, the eastern most column of the historic building has been reconstructed. The eastern most column was originally 3 and a half bricks wide. It was extended to probably accomodate the shed roof form. The corner column and the center column match original dimensions in the photographs, and appear to have original brick; however, past repointing used a grey mortar color typical of repairs over the past decades that did not match original mortar color common to Aspen in the 19th century.

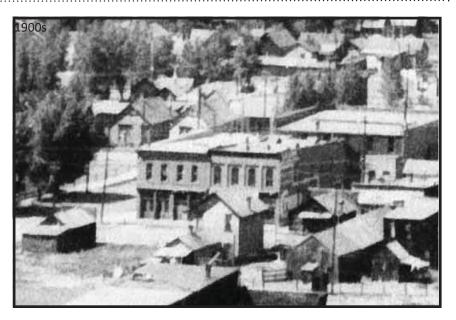
*Proposal*: Remove the second floor (including the brick corbel) and the unoriginal column during demoli on. Preserve and protect the corner and middle column on the south elevation. Reconstruct brick column to match historic photograph dimension of three and a half bricks wide. Determine in the field the authenticity of the brick directly above the storefront after the non-historic wood cornice above the storefront is removed. Reconstruct upper floor with bricks to match first floor west elevation, subject to Staff and monitor approval prior to installation. Color, dimension, mortar style and color to match typical historic commercial buildings in Aspen, subject to Staff and monitor approval prior to installation. A mock up onsite is recommended to confirm appropriate technique and application.

**Brick corbel:** The brick corbel detail above the storefront was added to the front façade and is carried around to the west façade.

*Proposal*: Remove the brick corbel and replace with a flat continuous wall plane to match historic photographs.





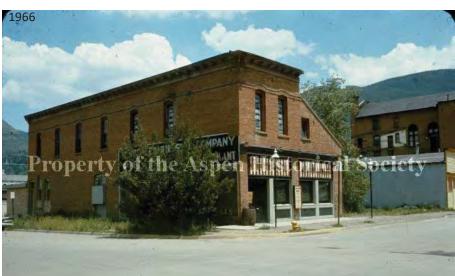


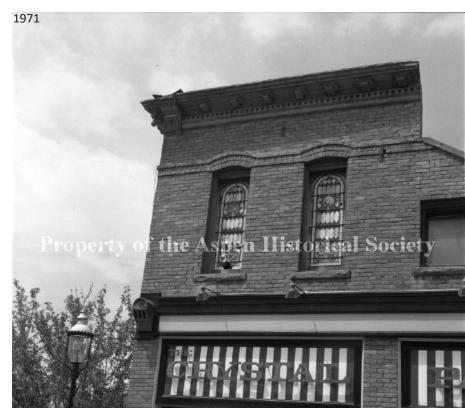


B&W photograph at top: Close up view of building pre- 1930s. Color photographs (left to right): Current condi on of columns; current detail of brick corbel, current building.

Next page: Collage of photographs used to verify dimensions, dated 1971 and 1966.









**Cornice:** A decorative cornice caps the entire building. The end brackets and corner pendant of the upper cornice matches the original photographs. As the building was expanded, the cornice was replicated to extend the length of the building on the west and south elevations. The authenticity of the dentil molding needs field verification.

The storefront also has a decorative cornice that completes the storefront. The end bracket of the cornice atop the storefront matches historic photographs; however, the profile of the cornice molding appears to have been replaced or partially replaced when the cornice was extended to accommodate the addition to the building. Comparing the 1950s and 1966 photographs to the 1971 photographs shows that a flat back was added to the end bracket. The 1950s photograph shows only one end bracket. It is assumed that the other bracket was lost, possibly when the roof collapsed.

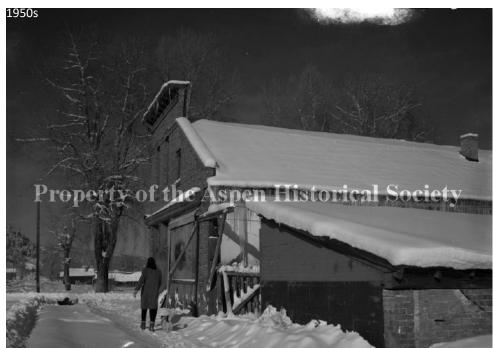
*Proposal*: Work with Staff and Monitor to replicate the original cornice for the top of the building and the original cornice above the storefront (which appears to be fairly simple molding) using historic photographs and informa on gathered during demoli on. Examine the decorative corner brackets of the cornice above the storefront to determine authenticity as they may have been part of the original cornice that was salvaged and reused during a previous remodel. Work with Staff and Monitor to determine an appropriate molding for the cornice atop the storefront. Retain all material determined to be original.

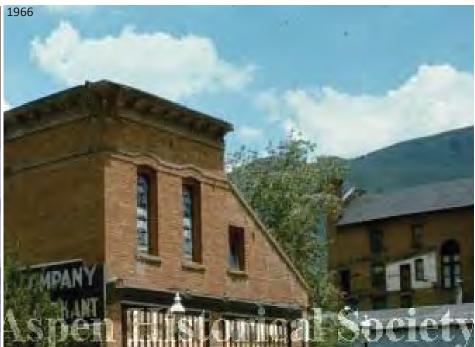




Left to Right: 1971 photograph with altered storefront cornice - note the backing behind the end bracket. The upper cornice is most likely original; Current photograph of upper cornice.

Next page (clockwise): 1950s photograph showing one end bracket for storefront cornice and more depth to cornice molding above storefront; 1966 photograph after Crystal Palace improvements are made; Current photograph of end bracket and upper cornice; 1971 photograph of storefront cornice.









current

**Upper floor windows**: During the 1960/70s remodel, an addi onal window was added to the upper floor for a total of 5 windows instead of the original 4 windows. The height of the window openings was reduced at some point - verified by counting bricks in the historic pre-remodel photographs. The upper floor double hung windows were replaced with casement style. The delicate brick detailing above the windows was replaced with a faux-Romanesque brick design. The window sills, originally pink sandstone, were replaced with what appears to be cast stone or machine cut sandstone.

Proposal: Restore 4 double hung windows, centered across the front façade and above storefront openings, to match historic photographs. All upper floor windows proposed to be wood and rectangular with wood filling in the curved opening to match historic condi on. The 1971 photographs show the window openings to be about 31 bricks tall (current condi on is about 23 bricks to the bo om of the exaggerated arch). Height of the windows in relationship to the storefront is unclear based on the angles and resolu on of historic photographs. We propose to work with Staff and Monitor to continue to research and refine window height and relationship to storefront. Replace cast stone window sills with sandstone window sills - color to match typical sandstone of the era, subject to Staff and monitor approval. Replicate the delicate brick detailing around the upper floor windows to match historic photographs. An on-site mock-up is proposed to verify brick detailing with Staff and Monitor.

**Storefront:** The storefront has evolved over time as tenants changed hands. The original configuration and height is hard to identify in historic photographs; however close-up views of high resolu on aerial photographs seem to show the two openings between brick columns are divided into two entrances/windows. On the other hand, the 1893 aerial shows a centered entrance with windows on either side and no ver cal division of the bay. When the Midnight Mine occupied the building from the mid-1930s to 1951, the far right bay was a garage to house and service trucks and store equipment. The current height of the storefront may be shorter than the original condi on (the blurry historic photographs make it hard to count bricks and verify height). Field verification after removal of the cornice atop the storefront will hopefully provide some answers. The intent is to restore the storefront to the original height and propor on.

*Proposal:* A wooden storefront is proposed. The entrance is proposed to the far left similar to the current condion. The right bay is proposed to be a large storefront window. Considering the uncertainty around the original appearane of the storefront, the proposed storefront is similar to the current configuration.

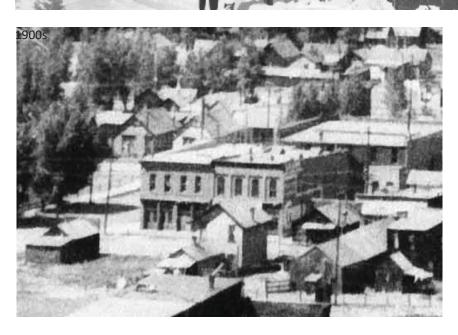


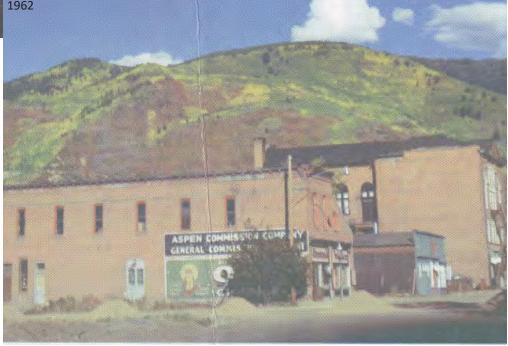
Left: 1893 Bird-eye view detail of building.

Next page (clockwise): Right bay is converted to a garage door as part of the Midnight Mine operation; current storefront; garage bay is removed; storefront configuration prior to sliding barn door.









### **West Elevation/Monarch Facade**

**Brick:** Similar to the front elevation, the upper floor brick has been entirely reconstructed, and the building has been extended to the rear, as evidenced by the change in foundation material from sandstone to concrete.

Proposal: Remove the second floor (including the brick corbel) during demoli on. Preserve and protect the historic por on of the ground floor including the Owl Cigar Mural during construct on. Reconstruct upper floor with bricks to match first floor west elevation including the American/common brick bond course evident on the ground level of the west elevation, subject to Staff and monitor approval prior to installation. Color, dimension, mortar style and color to match typical historic commercial buildings in Aspen, subject to Staff and monitor approval prior to installation. A mock up onsite is recommended to confirm appropriate technique and application.

**Owl Cigar Mural:** The historic mural harkens back to the original tenant of the building – the Clark Commission Company – a wholesale produce house. The historic mural was repainted in 1977 by RP Evans according to the signature at the base of the mural. The height of the Owl mural may have been changed as evidenced by its relationship to the storefront height in historic photographs vs. current condition. Around 66 ver cal bricks are counted on the historic photograph and about 61 ver cal bricks are counted onsite today. The unoriginal brick corbel may have resulted in a shortened historic mural. As noted above, the storefront height may have been changed as well.

Proposal: Protect the mural during construc on. No change proposed.

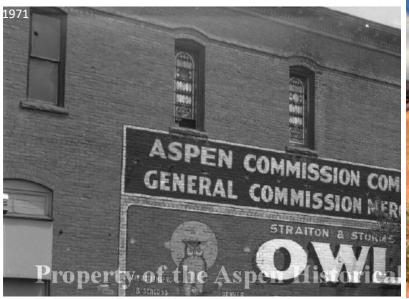
**Cornice**: see discussion above. Remove brick corbel from west elevation.



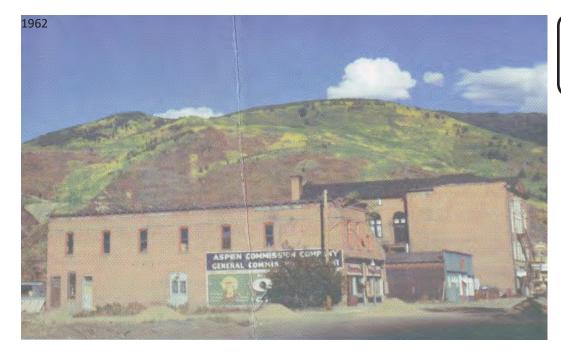
Left: Current relationsip of mural to storefront cornice.

Right: 1966 relationship of mural to storefront cornice.









Photographs clockwise: 1971 photograph showing mural hi ng the upper floor window sills; current photograph showing gap between window sills and mural; 1962 photograph showing mural hi ng the upper floor window sills.

**Upper floor windows:** During the 1960/70s remodel, the grouping and number of upper floor windows was significantly altered from the original 6 equally spaced double hung windows. The height of the upper floor windows, verified by counting bricks, was also reduced. The 1971 photographs show the window openings to be about 31 bricks tall (current condi on is about 23 bricks to the bo om of the exaggerated arch). The upper floor double hung windows were replaced with casement style. The delicate brick detailing above the windows was replaced with a faux-Romanesque brick design. The window sills, originally pink sandstone, were replaced with what appears to be cast stone or machine cut sandstone.

Proposal: Restore 6 double hung windows. All upper floor windows proposed to be wood and rectangular with wood filling in the curved opening to match historic condi on. Window openings to match historic dimensions. Spacing of the windows is slightly different than historic photographs to accommodate the proposed use of the building. A slightly different spacing is a subtle way to show that this elevation was reconstructed and is not original. Replicate original window height based on historic photographs. Replace cast stone window sills with rough cut sandstone window sills - color to match typical sandstone of the era, subject to Staff and monitor approval. Replicate the delicate brick detailing around the upper floor windows to match historic photographs.

**Ground level openings:** Sometime after 1962, ground level doors and window openings were bricked in. Luckily there are clear ghost shadows indicating the location and dimension of these openings.

Proposal: Restore openings with wood windows or doors to match historic photographs and existing shadow lines. Work with Staff and Monitor to detail these elements prior to construc on and installation. The openings are not proposed to be operable.

**Steps and coal shoot:** The remnants of a possible coal shoot and three concrete steps exist toward the rear (alley) of the west elevation, and sit within the right of way. The steps do not align with the ghost images of bricked in entrances and were probably shi ed over me.

Proposal: Store concrete steps off-site during construc on and replace in front of restored entrances at rear of west wall pending approval from Engineering via an encroachment license. The "coal shoot" is not proposed to be replaced.



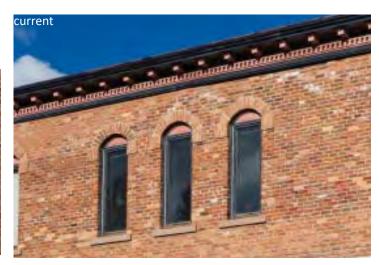


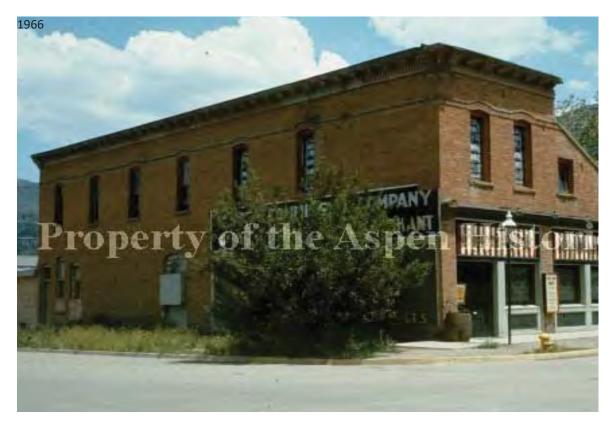
Photographs (left to right): Current photograph to show ghost image of original door location; current photograph to show concrete steps and "coal shoot".

Next page (clockwise): 1971 photograph detail of original window openings, sandstone sill, and delicate brick detail; current photograph of cast stone window sill; current photograph of upper floor windows; 1893 drawings of west elevation showing openings; 1966 photograph of west elevation showing openings.













(Note: Applications will NOT be processed until the application fee is paid.)

#### THE CITY OF ASPEN

Parks Department 585 Cemetery Lane

Aspen, CO 81611 Parks Office: 970.920.5120

	FOR PA	ARKS USE ONLY
Date Received: 3	-21-18	Permit # 2018_022
Date Responded:	77 V 113	Building Permit #:
Fees Paid: (7)/N	(If applicable) Amount \$ 206	6 Credit / Cash / Check # 1624 Init:

F	ax: 970.920.5128
	TREE REMOVAL / DRIPLINE EXCAVATION PERMIT
	lease submit the following information to the Parks Department, together with your check payable to the City of Aspen.
	□ \$77 - Non construction related  □ \$206 - Construction related □ Drip Line Excavation
1	Site address - 300 - 312 E Hyman Avenue
2	Outline/Sketch/Drawing of property to include: (Please attach TWO copies)  a. Property address. b. Property boundaries. c. Locations of buildings on the property. d. Location, diameter, and species of trees on property and designate with arrows or circles which trees are to be removed.
3	List trees to be removed, species and diameter at 4.5' above grade. City Forester will define tree values utilizing the following equation: Max value = $$42 \times 3.14 \times (D/2)^2$ , D = Diameter of tree in inches at 4.5' above grade.
4	Reason for Removal: Site construction
5	Mitigation Plan {relocation of trees or replacement as referenced in Aspen Municipal Code Sec. 13.20(e)} Please ADD to the Property Drawing: (TWO copies needed) a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nursery stock, delivery, and installation).
. 6	Estimated Start Date of Project: 4/2018
7	Person(s) responsible for project (applicant):
	a) Primary Contact Name: Brad Hribar - Centaur Construction Phone: (312) 714-8519  Email Address: bhribar@centaurco.com
	b) Name of Architect or Construction Representative (please print): Sam Baucum  Company Name (please print): Bluegreen Phone: (970) 429-7499 Fax:  Signature of Representative: Date: 9/15/2017  c) Property Owner Name (please print): 312 EAST TYMAN Architecture Phone: (312) 850-1680
	Address: 2001 N Halsted St., Suite 304 Phicago, IL 60614 Fax / Email address: (312) 850-1685  Signature of Owner: Date: 10/2/2017
	Digitalities of Allieri,

MUST BE POSTED ON PROPERTY DURING REMOVAL

#### MUST BE POSTED ON PROPERTY

#### Tree Removal Permit #2018-022

On September 5, 2018, Ian Gray, City Forester, performed an onsite inspection of the property located at **300-312 E Hyman Avenue**. The applicant is requesting a tree removal/drip line excavation permit for 10 trees. The property is being completely rebuilt. See site-specific notes below for tree protection measures and other requirements for the duration of the building process. The list of trees requested for removal is as follows:

- Seven Ash trees 5.5"/5.7"/10.2"/6.2"/9.0"/3.0"/3.0" inches DBH These trees, numbered #4-#10, are located at the south side of the property along Hyman Ave. These are City of Aspen assets and right-of-way trees. Due to restrictions caused by the requirements imposed by historic preservation of the site removal has been requested. These trees are not sustainable and may be removed. The applicant has agreed to install Silva Cells below the new sidewalk pavement when 4 new trees are planted here at the end of the project.
- Three Crabapple trees 12.5"/10.0"/7.0" inches DBH These trees, numbered #1- #3, are located on the west side of property along Monarch Street. These trees are not sustainable and may be removed. The applicant has agreed to plant 3 new trees here at the end of the project.

The trees approved for removal have been assigned a value using a standard formula developed for all trees found within the City of Aspen. The formula is as follows: Value= $$42.00 \times 3.14 \times (D/2)^2$ , where D is the diameter of the tree at breast height. Tree numbering was provided by applicant, tree diameters were sampled by City Forester and condition ratings were assigned. A new tree planting quote was provided by the applicant in the amount of \$6,011.40, which has been deducted from the assessed mitigation of \$14,774.67 Removal of the trees #1-10 is approved. The mitigation of \$8,763.27 is owed to the Parks Department, cash-in-lieu, prior to the release of this permit.

Property / Tree Inspection

Ian Gray

Forester, City of Aspen

Ben Çarlsen

Open Space and Natural Resources Manager

9/12/18

Date

Date

Permit valid 2 business days AFTER issuance. Permit valid for one year after approval date.

### **Colorado Department of Public Health and Environment**

Air Pollution Control Division – Indoor Environment Program – Asbestos/IAQ Air Unit 4300 Cherry Creek Drive South, APCD-IE-B1
Denver, Colorado 80246-1530
Phone: 303-692-3100 – Fax: 303-782-0278
E-mail: asbestos@state.co.us

# **DEMOLITION APPROVAL NOTICE**

This approval notice is granted subject to Colorado Air Quality Control Commission Regulation No. 8, Part B, adopted December 21, 2007, and effective January 30, 2008 and the Colorado Air Pollution Prevention and Control Act C.R.S. (25-7-101 and 25-7-501 et seq). This notice signifies that the structure was inspected for asbestos, luminous exit signs (containing radioactive material), and Ozone-Depleting Refrigerants and the demolition contractor has properly notified the Colorado Department of Public Health and Environment pursuant to Regulation No. 8, Part B.

As a contractor, you may be subject to other demolition licenses and permits, depending on the requirements of the county and municipality in which the work is being performed. The Colorado Department of Public Health and Environment, Air Pollution Control Division, strongly suggests that you check with county and municipal authorities in order to determine any other local building/permitting requirements that must be met.

Please note that certain asbestos-containing materials (ACM) may remain in the structure during demolition. Therefore, any demolition debris left behind after the completion of post-demolition site cleanup may constitute a "reason to know of asbestos-contaminated soil" at the site, subject to the requirements of Section 5.5 of the Solid Waste Regulations (6 CCR 1007-2, Part 1).

### THE ORIGINAL APPROVAL NOTICE MUST BE POSTED ON SITE AT ALL TIMES.

Immediately notify the Asbestos/IAQ Unit of project modifications by fax (number above) or e-mail (address above) and the appropriate county health department by fax. Project modifications include changes in the scope of work or the scheduled work dates, etc.

This demolition approval notice is valid beginning 9/3/2019. The actual scheduled work dates are from 9/3/2019 through 11/22/2019.

Approval issued on: 2/19/2019 Record number: 145913

Notice Number: 19PI0938D

For the location specified below:

**Crystal Palace** 

300-312 E. Hyman Ave Aspen Pitkin County

This notice has been issued to:

Stutsman - Gerbaz Earthmoving 30376 Hwy 82 Snowmass, CO 81654 Fee Paid: \$95.00

Check number: 1058

Asbestos Building Inspector:

**Rich Kreuscher** 

Cerification No.: 15812

Inspection Date: 02/01/2019

COPY

Issued by: TS

Frevor Strosville



#### 3.2 **Public Notification**

Public updates will be provided monthly via onsite notices (or as requested by the City of Aspen). The first public notification will occur no later than 10 days prior to construction. The updates will include a description of the current project phase, list any traffic and/or pedestrian impacts and describe the hauling/staging operations. The notification will also be distributed to neighbors located within 300 feet of the project property.

The Contractor has designated Brad Hribar as the project representative, the sole point of contact for all communications relative to the project. The project representative will host a pre-construction site meeting in August to discuss the project and summarize the projectspecific Construction Management Plan. The Contractor and Subcontractors will attend this meeting. Utility personnel, applicable City departments, the Roaring Fork Transportation Authority, neighboring property owners and the Aspen School District will also be notified.

In addition to the above a Communication Plan will be provided and used throughout the duration of the project.

(Reference the attached Communication Plan for specific information)



# Crystal Palace Communications Plan



#### INTRODUCTION

The following document outlines the draft communications plan created for the Crystal Palace project set to begin construction in the spring of 2019. The plan will utilize traditional outreach means and methods in order to disseminate information to the public regarding traffic flow disruption during the construction process- specifically the eastbound lane closure on East Hyman Avenue. It will also highlight the temporary impacts to parking and traffic patterns in the surrounding area.

While there is no precedent within the Construction Mitigation Plan regulations, attention to City noticing requirements has been taken to create an appropriate plan for both adjacent land owners, tenants, and the greater community. A comprehensive stakeholder list has been compiled and will be used as the basis for disseminating information through posters, enhanced mailers, newspaper advertisements, public meetings, a project web page, and one-on-one discussions with neighboring business owners and tenants. The plan will utilize existing information channels required during the development process as a framework. Information will include phasing updates, indicative schedules, traffic and parking information, site plans, and renderings. Details of the proposed communication plan are detailed below:

#### **STAKEHOLDERS**

An extensive list of stakeholders has been compiled and will include (but not be limited to) adjacent properties on East Hyman and South Mill Street, in addition to RFTA, utility companies, trash collectors, City Departments (Parking, Transportation, Planning, Engineering, Building, Wheeler Opera House) United States Postal Service, emergency services, Shamrock, CISCO, and the greater Aspen community. (The Applicant will work with the City to collect appropriate project contacts at the above mentioned organizations.)

#### **NOTICING:**

Utilizing the stakeholder list outlined above, a mailing list will be created which will be the basis for all noticing methods. Additional interested parties will have the opportunity to sign up to the mailing list via the project information page.

#### MAILERS:

15 days prior to each major construction phase, enhanced mailers will be sent to all registered stakeholders, which will include detailed project updates, next steps, and may include necessary traffic flow maps or images. A sample graphic mailer has been included for reference. As discussed with Staff, all mailers will be shared and filed with the City.

#### SITE REPRESENTATIVE

A site representative will be designated at the beginning of construction. Contact information will provided on-site, and will be included in all project communications.

#### PROJECT KICK-OFF MEETING

The project team will host a project kick-off meeting for all stakeholders addressing impacts to neighboring businesses, transportation providers, and special events. This meeting will be advertised in the newspaper and through City channels. Additional meetings will be held as necessary throughout the project.



# Crystal Palace Communications Plan: Door-to-Door

#### DOOR-TO-DOOR WITH HIGH-IMPACT STAKEHOLDERS:

Upon receipt of building permit the project team will go door-to-door to speak with neighboring properties that are the most impacted by construction scheduling (i.e. if equipment is running late). It is often difficult for business owners to attend public information meetings , and this effort will be integral to ensuring adjacent property owners, business owners, and tenants are receiving up to date project information.

This will also be an opportunity for these stakeholders to sign up for emergency notifications, and to ask our project representatives questions one-on-one. We have created a map of anticipated neighbors that will be contacted, but it is important to note that this list may grow / change with the project as people choose to opt in to alerts.



#### POSTERS:

Public noticing posters will be posted on the construction fencing on both South Monarch and East Hyman providing project information, construction phasing and general dates, contact information, and relevant traffic flow maps and images. Posters will be available at start of construction and will remain posted for the duration of the project. Posters will be updated as necessary and will comply with City construction signage regulations. Drafts of signage will be submitted to the Planning Department for review prior to posting. Indicative locations are highlighted in the map above.

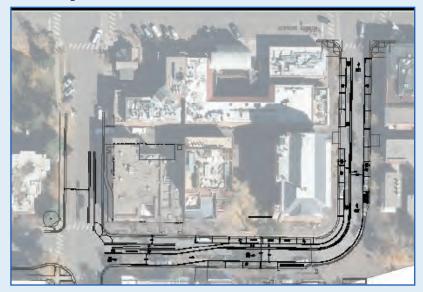


# Crystal Palace Communications Plan: Ads

#### **NEWSPAPER ADVERTISEMENTS**

The project team will publish, newspaper advertisements updating the greater community on major phases of the project and times of increased impact. An example advertisement can be seen on the right.

As the project progresses, advertisements may include maps and renderings, such as those below, indicating major phasing and traffic flow changes:







# crystal palace project construction plan updates

# <u>Phase II of construction</u> will begin shortly.

This phase will focus on earth retention, foundation, and structure work. This phase of construction is anticipated to last through late spring of 2020.

The building located at 300 East Hyman Avenue, AKA the Crystal Palace, has been heavily altered over time with changes to the second story, brick detail, cornice, storefront, upper windows, door openings, and the Owl Cigar mural.

Original materials are located in the west wall facing Monarch and will be protected and preserved. The historic design of the storefront and second floor will be carefully reconstructed using old photographs. A new addition will occupy the rest of the property.





Photos above courtesy of Aspen



#### **Current Project Schedule**

#### Phase II

October 2019 -May 2020

Excavation, Earth Retention, Foundations, Structure

#### Phase III

April 2020-August 2020

Masonry, Structural Framing, Rough MEP's, Windows + Roof

#### Phase IV

August 2020 -September 2021

Trim MEP's, Site Work + Finishes

#### Where to Find More Information

If you are interested in learning more about this project please visit our website for the historic preservation plan, project contact information, scheduling, and regular project updates.

www.crystalpalaceproject.com







# Crystal Palace Communications Plan: Phases I-IV

#### SOCIAL MEDIA / PROJECT PAGE:

The Applicant team will provide the City of Aspen with regularly scheduled updates and content to be released through the existing City traffic and construction information channels. At key construction phases, media releases will be provided to the City to be posted on the City website and shared with the City listserv. A project web page will be created to provide regular project updates detailing any impacts to adjacent neighbors and offer the opportunity to be added to the mailing list. During times of greater impact the project team will provide more frequent updates, as needed. Scheduling information will also be hosted on the project web page.

#### **COMMUNICATIONS SCHEDULE:**

The Applicant team has created the following communications plan based upon the anticipated construction schedule <u>and will</u> adhere to representations below unless othewise directed and approved by City Staff.

		Commu	nications Plan	
PHASE	DATES	WORK TYPE	COMMUNICATIONS	
РПАЗЕ	DATES	WORKTIPE	PHASED	ONGOING
PHASE I	September- October 2019	Mobilization and Existing Structure Demolition	<ul> <li>Project web page launch.</li> <li>Public information and preservation plan posters to be mounted on South Monarch and East Hyman construction fencing (indicated in map pg.2).</li> <li>Newspaper announcements (see sample pg. 3).</li> <li>Door-to-door sessions with high-impact stakeholders.</li> <li>Project kick-off meeting for key stakeholders and greater public.</li> <li>Mailers to neighbors within 300 feet (will include maps and graphics).</li> <li>Announcements via City channels.</li> <li>Prior to next phase project team will update City on stakeholder list</li> </ul>	Regular updates to web page Email listserv sign-up
PHASE II	November 2019 - August 2020	Earth Retention, Foundations, Structure	<ul> <li>Updates to web page with Phase II information and scheduling.</li> <li>2nd round of door-to-door updates with high-impact stakeholders.</li> <li>15 days prior to new construction phase, announcements will be published in newspapers and through City information channels (will include maps and graphics)</li> <li>15 days prior to new construction phase, enhanced mailers will go out to neighbors within 300 feet (will include maps and graphics).</li> <li>Updated public information posters will replace Phase I posters in same location (will include maps and graphics).</li> </ul>	Check-in meet- ings with the City  Media announce- ments detailing project progress



# Crystal Palace Communications Plan: Phases I-IV

		Commu	nications Plan	
PHASE	DATES	WORK TYPE	COMMUNICATIONS	
FTIASL	DATES	WORKTHE	PHASED	ONGOING
PHASE III	September 2020- February 2021	Masonry, Structural Framing, Rough MEP's, Windows, Roof	<ul> <li>Updates to web page with Phase III information and scheduling.</li> <li>3rd round of door-to-door updates with high-impact stakeholders.</li> <li>15 days prior to new construction phase, announcements will be published in newspapers and through City information channels (will include maps and graphics).</li> <li>15 days prior to new construction phase, email detailing impact changes, and updates to schedule (will include maps and graphics).</li> <li>15 days prior to new construction phase, enhanced mailers will go out to neighbors within 300 feet (will include maps and graphics).</li> <li>Updated public information posters will replace Phase II posters (will include maps and graphics).</li> </ul>	Regular updates to web page Email listserv sign-up
PHASE IV	March 2020 - July 2021	Trim MEP's, Site Work, and Finishes	<ul> <li>Updates to web page with Phase IV information and scheduling.</li> <li>4th round of door-to-door updates with high-impact stakeholders.</li> <li>15 days prior to new construction phase, announcements will be published in newspapers and through City information channels (will include maps and graphics).</li> <li>15 days prior to new construction phase, enhanced mailers will go out to neighbors within 300 feet (will include maps and graphics).</li> <li>Updated public information posters will replace Phase III posters in same location (will include maps and graphics).</li> </ul>	Check-in meet- ings with the City  Media announce- ments detailing project progress
PROJECT CLOSE	July 2021	Presentation to public	Final emails, newspaper notifications, mailers, and announcements. Close of project web page.	



The following stakeholder list was derived using the Aspen Maps GIS program, selecting ownership entities within 300 feet of the 300 E Hyman, Crystal Palace, property which is standard for City public noticing requirements.

**SCULL JAMES E** 

PO BOX 2051

**ASPEN, CO 81612** 

JPS NEVADA TRUST

1701 N GREEN VALLEY PKWY #9C

HENDERSON, NV 89074

LIMELIGHT SUB/PUD

E HYMAN AVE

ASPEN, CO 81611

PLACE BRADLEY E JR REV TRUST

5701 S COLORADO BLVD

LITTLETON, CO 80121

**ASPEN SKIING COMPANY LLC** 

PO BOX 1248

ASPEN, CO 81612

PROSPECTOR FRACTIONAL OWNERS ASSO

301 E HYMAN AVE #108

ASPEN, CO 81611

305-7 MILL STREET LLC

2001 NORTH HALSTED #304

CHICAGO, IL 60614

KATIE REED BUILDING LLC

407 S HUNTER ST #3

ASPEN, CO 81611

**GRAND SLAM HOLDINGS LLC** 

215 S MONARCH ST #101

**ASPEN, CO 81611** 

**407 HYMAN LLC** 

51027 HWY 6 & 24 #100

GLENWOOD SPRINGS, CO 81601

WHITMAN WENDALIN

PO BOX 472

ASPEN, CO 81612

**COLLINS BLOCK LLC** 

205 S GALENA ST

**ASPEN, CO 81611** 

**CS WEBER INVESTMENTS LLC** 

15 S WILLOW CT

ASPEN, CO 81611

**400 HYMAN LLC** 

1010 E HYMAN AVE

ASPEN, CO 816112118

ORR ROBERT L

2700 G ROAD #12A

GRAND JUNCTION, CO 81506

THOR 228 S MILL ST LLC

1000 WILSON BLVD #2100

ARLINGTON, VA 22209

SHENNAN MELISSA A

1242 N LAKE SHORE DR #4S

CHICAGO, IL 60610

HILLSTONE RESTAURANT GROUP INC

3539 NORTHSIDE PKWY

ATLANTA, GA 30327

PRODINGER IRMA

PO BOX 1245

ASPEN, CO 81612

**401 HYMAN AVENUE LLC** 

1435 LAWRENCE LN

NORTHBROOK, IL 60062

JOHNSON PETER C & SANDRA K

51 OVERLOOK DR

ASPEN, CO 81611-1008

TRUE JAMES R

PO BOX 2864

**ASPEN, CO 81612** 

COLORADO MOUNTAIN NEWS MEDIA CO

580 MALLORY WY

CARSON CITY, NV 89701

HART GEORGE DAVID & SARAH

PO BOX 5491

SNOWMASS VILLAGE, CO 81615

WHITMAN WENDALIN

210 E HYMAN AVE #101

ASPEN, CO 81611

LARRAC INV LLC SERIES H

840 FM 474

BOERNE, TX 78006

**DAVIDSON ARIAIL SCOTT** 

PO BOX 5141

ASPEN, CO 81612

ROBERTS JANET A

215 S MONARCH ST #G101

ASPEN, CO 81611

360 HEXAGON LLC

9401 INDIAN CREEK PKWY STE 800

OVERLAND PARK, KS 66210

400 BUILDING LLC

306 N PLAZA REAL

BOCA RATON, FL 33432-3933



314 HEXAGON LLC

9401 INDIAN CREEK PKWY STE 800 OVERLAND PARK, KS 66210

PARK CENTRAL CONDO ASSOC

215 S MONARCH ST STE 203

ASPEN, CO 81611

1000 EAST HOPKINS LLC

215 S MONARCH #104 ASPEN, CO 81611

**KANTZER TAYLOR FAM TRST #1** 

216 SEVENTEENTH ST

MANHATTAN BEACH, CA 90266

**BOGIN ROBERT M** 

4280 S MEADOW BROOK LN EVERGREEN, CO 80439

MOJO ASPEN LLC

215 S MONARCH #G102

ASPEN, CO 81611

SHVACHKO NATALIA

35 SUTTON PL #19B

NEW YORK, NY 10022

BRINING ROBERT D

215 S MONARCH #203

**ASPEN, CO 81611** 

**DESOTO LINDA JANE LIVING TRUST** 

155 LONE PINE RD #9

ASPEN, CO 81611

SMITH NATHANIEL THOMAS

706 NORMANDY

MOORESVILLE, NC 28117

**CITY OF ASPEN** 

C/O Mitzi Rapkin 130 S GALENA ST ASPEN, CO 81611

MOTHER LODE CONDO ASSOC

COMMON AREA 314 E HYMAN AVE ASPEN, CO 81611

KATIE REED PLAZA CONDO ASSOC

301 E HOPKINS AVE ASPEN, CO 81611

**ELLIOTT ELYSE A TRUST** 

610 NORTH ST ASPEN, CO 81611

BERNSTEIN JEREMY M PROFIT SHARING PL

610 NORTH ST ASPEN, CO 81611

210 COOPER LLC

1512 LARIMER ST #100 BRIDGE LEVEL DENVER. CO 80202

·

KAUFMAN GIDEON I

315 E HYMAN AVE STE 305

ASPEN, CO 81611

**LEE FRANCIS A III** 

706 NORMANDY

MOORESVILLE, NC 28117

**LEE FRANCIS A** 

706 NORMANDY

MOORESVILLE, NC 28117

FIERCELY LOCAL

PO BOX 8970

ASPEN, CO 81612

**CLARKS ASPEN LLC** 

818 SOUTH MAIN ST BLANDING, UT 84511

DAVIS HORN INCORPORATED

215 S MONARCH #104 ASPEN, CO 81611

MOTHER LODE CONDO ASSOC INC

9401 INDIAN CREEK PKWY STE 800

OVERLAND PARK, KS 66210

**ELK MOUNTAIN HOSPITALITY LLC** 

371 MARKET ST BASALT, CO 81621

FREDRICK LARRY D

215 S MONARCH ST #G101

ASPEN, CO 81611

**CLARK LOIS P REV TRUST** 

PO BOX 5815

SNOWMASS VILLAGE, CO 81615

AJAX JMG INVESTMENTS LLC

9401 WILSHIRE BLVD 9TH FL

BEVERLY HILLS, CA 902122974

DOLE MARGARET M

400 E HYMAN AVE #302

ASPEN, CO 816111989

NEWMAN KERRY J & RICKI R

617 PRINCE DR

NEWBURGH, IN 47630

PLACE PENNY L REV TRUST

5701 S COLORADO BLVD

LITTLETON, CO 80121



JACOBSON FAMILY TRUST

3237 SUMMER WIND LN #1424

LITTLETON, CO 80129

**400 HYMAN LLC** 

PO BOX 351

RIFLE, CO 816500351

**ASPEN COMMERCIAL CONDO ASSOC** 

307 S MILL ST

**ASPEN, CO 81611** 

**BUSH ALAN DAVID** 

0046 HEATHER LN

ASPEN, CO 81611-3342

210 COOPER CONDO ASSOC

210 E COOPER AVE

ASPEN, CO 81611

**MTN ENTERPRISES 80B** 

PO BOX 5739

EAGLE, CO 816315739

**GUTNER TODDI L GST DESC TRUST** 

260 N DEERE PK DR

HIGHLAND PARK, IL 60035

400 EAST HYMAN LLC

400 E HYMAN AVE # A202

**ASPEN, CO 81611** 

201 EH INVESTMENTS LLC

10880 WILSHIRE BLVD #2222

LOS ANGELES, CA 90024

MILL STREET PLAZA ASSOC LLC

602 E COOPER #202

ASPEN, CO 81611

308 EAST HOPKINS CONDO ASSOC

COMMON AREA 308 E HOPKINS AVE

ASPEN, CO 81611

**COHEN FRANK R** 

360 S MONROE ST #702

**DENVER, CO 80209** 

**CARRIGAN RICHARD A JR** 

2044 AUDUBON AVE # BT505

NAPERVILLE, IL 605635352

**WELLS FARGO BANK** 

PO BOX 2609

CARLSBAD, CA 92018

**MOUNTAIN GETAWAY PROPERTIES LLC** 

9 ISLAND AVE # 2103

MIAMI BEACH, FL 33139-1343

**RACZAK FAMILY TRUST** 

0234 LIGHT HILL RD

SNOWMASS, CO 81654

**GORDON BRIAN S** 

26985 CRESTWOOD

FRANKLIN, MI 48025

WHITMAN FINE PROPERTIES

210 E HYMAN AVE #101

ASPEN, CO 81611

**COLLINS BLOCK CONDO ASSOC** 

COMMON AREA

204 S MILL ST

ASPEN, CO 81611

PLUMERIA PARTNERS LLLP

925 CHATFIELD RD

ASPEN, CO 81611

**CLARKS ASPEN LLC** 

818 SOUTH MAIN ST

BLANDING, UT 84511

FERAL VENTURE CAPITAL LLC

6226 N RIVIERA DR

OKLAHOMA CITY, OK 73112

RACZAK FAMILY TRUST

0234 LIGHT HILL RD

SNOWMASS, CO 81654

PARK CENTRAL WEST CONDO ASSOC

210 E HYMAN AVE

ASPEN, CO 81611

314-PH HEXAGON LLC

9401 INDIAN CREEK PKWY STE 800

OVERLAND PARK, KS 66210

**WENDELIN ASSOC** 

1173 PITTSFORD VICTOR RD #250

PITTSFORD, NY 14534

SHAW ROBERT

5408 BIRCHMAN AVE

\_\_\_\_

FORT WORTH, TX 76107

LARRABEE DONALD C JR

1417 POTTER DR STE 105

COLORADO SPRINGS, CO 80909

YOUNGS RICHARD B & JACQULINE L

3940 MARSH RD

BROOKLYN, MI 49230

WHEELER SQUARE - CASPER FAMILY LLC

315 E HYMAN

**ASPEN, CO 81611** 



IFTNES LLC

0115 GLEN EAGLES DR

**ASPEN, CO 81611** 

PITNER N KATHRYN

PO BOX 11930

**ASPEN, CO 81612** 

**SEGUIN BUILDING CONDO ASSOC** 

COMMON AREA 304 E HYMAN AVE **ASPEN, CO 81611** 

**SEDOY MICHAEL** 

35 SUTTON PL #19B

NEW YORK, NY 10022

PCU-5 LLC

PO BOX 2563

**ASPEN, CO 81612** 

**G & K LAND CO LLC** 

0167 WILLOW LN

CARBONDALE, CO 81623

**GOODING NANCY A** 

4800 S HOLLY ST

ENGLEWOOD, CO 80111

**KELLY GARY** 

PO BOX 12356

**ASPEN, CO 81612** 

JMS LLC

0115 GLEN EAGLES DR

**ASPEN, CO 81611** 

TOM THUMB BUILDING CONDO ASSOC

400 E HYMAN AVE

ASPEN, CO 81611

DCBD2 LLC

2100 ROSS AVE #3300 DALLAS, TX 75201

LEATHERMAN ROBERT D

PO BOX 11930 ASPEN, CO 81612

**LORING PETER & ELIZABETH S** 

230 CONGRESS ST

BOSTON, MA 02110

FREDRICK LARRY D

215 S MONARCH ST #G101

**ASPEN, CO 81611** 

MORRONGIELLO LYDIA LIVING TRUST

8109 WILLOW BEND CT BOULDER, CO 80301

1000 EAST HOPKINS LLC

215 S MONARCH #104

**ASPEN, CO 81611** 

**HOFFMAN JOHN L & SHARON R TRUST** 

411 E 63RD ST

KANSAS CITY, MO 64108

**ROBERTS JANET A** 

215 S MONARCH ST #G101

**ASPEN, CO 81611** 

**JAFFE JONATHAN & KAREN** 

88 EMERALD BAY

LAGUNA BEACH, CA 92651

YOUNG BARBARA A

210 E HYMAN #9

**ASPEN, CO 81611** 

**DAVIDSON DONALD W TRUST** 

864 CEMETERY LN

**ASPEN, CO 81611** 

FEDER HAROLD L & ZETTA F

985 CASCADE AVE

BOULDER, CO 80302-7550

FREDRICK LARRY D

215 S MONARCH ST #G101

**ASPEN, CO 81611** 

FOOTLOOSE MOCCASIN MAKERS INC

44 SILVERADO CT

CANON CITY, CO 812129484

**LEAR STEFANIA** 

PO BOX 3394

**ASPEN, CO 81612** 

314-200 HEXAGON LLC

9401 INDIAN CREEK PKWY STE 800

OVERLAND PARK, KS 66210



## crystal palace project construction plan FAQ: phase 1

#### Scope of Work:

During Phase I, construction will focus on prepping the site for building demolition and prepping Hyman Avenue to change from a two-way road to a one-way road with traffic flowing towards Mill Street. This will include the installation of construction fencing, re-striping Hyman Avenue, and creating pedestrian/cyclist protection barriers.

This process will start with the removal of building utilities, streetlights, signs, installing temporary electric, erecting the perimeter barriers, installing sound abatement, and installing bracing for the historic west and south masonry walls.









## crystal palace project construction plan FAQ: phase

#### **Project Contacts and Resources:**

Our team is excited to share all of the hard work we have been doing in preparation for breaking ground at 300 E Hyman Avenue (Crystal Palace). Most important, is how we will be communicating with you throughout the project. We truly value our relationship with our neighbors and the greater community and want to keep you informed of the anticipated impacts and traffic changes expected during the construction phases.

We will be utilizing a variety of methods to disseminate information to you, including public meetings, on-site posters, emails, enhanced mailings, our project web page, City channels, and newspaper announcements. We will also have an on-site representative who you can contact with any project questions or comments. We have provided a list of project contacts and resources below for your reference throughout the project. Please don't hesitate to reach out with any questions or urgent matters.

**Reilly Thimons, BendonAdams, Project Communications Liaison**Reilly will act as your point of contact for all scheduling, phasing, construction, project information updates, and historic preservation inquiries. She will be stopping by surrounding businesses prior to major phase changes to discuss any questions or concerns and bring you updated information packets outlining what you can expect. Reilly will also be providing on-site poster updates, newspaper announcements (keep your eyes out), website updates, email updates, enhanced mailings, and will act as point person for public meetings. You can reach her at crystalpalaceproject@gmail.com / 970.510.0094.



#### Brad Hribar, Centaur Construction, Project Manager, Safety Officer

Brad will act as your point of contact for all urgent inquiries regarding site access, right of way interruptions and any construction staging issues. He will be located on-site and is the site manager / safety officer. If there is a situation that is impacting your storefront and/or business operations (blocked deliveries etc.) please reach out to Brad. You can



#### crystalpalaceproject.com

We strongly encourage you to register at our website. The website will provide regular construction/progress updates, updated construction phasing, renderings, site plans, additional contact information, the construction management plan, the communications plan, links to project approvals and documentation, and traffic flow updates. Please share our website with anyone who you think will be interested in learning more about this project.

Emergency Contacts: Aspen Fire Station 970.320.5532 / Aspen Police Department 970.920.5400 / For a real emergency

BendonAdams

### crystal palace project construction plan update: phase 2



#### Historic Preservation:

The building located at 300 East Hyman Avenue, AKA the Crystal Palace, is a typical brick commercial building, constructed as the town's prosperity grew. Brick provided greater fire protection than wood and indicated a sense of "permanence." The oldest part of the building (the western part) was built by S.B. Clark

Named the Clark Commission Company, it was utilized as a wholesale produce house. In the early 1900s, E. M. Cooper bought the business and changed the name to Aspen Commission Company. The building was later vacant for a period of years, until bought by Mead Metcalf, who operated a dinner theater, "The Crystal Palace," there from 1959 until 2008.

The building has had numerous alterations, including additions to the east and rear which obscure the original character. All windows have been replaced and new storefronts have been constructed across the entire could be tracked. south facade.

A historic preservation plan has been created detailing the history of the Crystal Palace property and changes to the building over time. This ensures that the remaining historic materials are preserved and accurate reconstruction of missing historic elements is

Historic photographs were used to identify the original structure and detail of the building, and the project is committed to restoring the building based upon this

Original materials are located in the west wall facing Monarch and will be protected and preserved. The historic design of the storefront and second floor will be

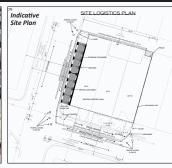






### crystal palace project construction plan update: phase 2





#### Scope of Work:

Phase I of construction is near completion and our team has been very busy working on-site. To date we have disconnected utilities, installed construction gates, fencing, historic wall bracing and conducted demolition.

Phase II of construction will begin shortly and will focus on earth retention, foundation, and structure work. Specifically, this will include installation of an earth retention system, excavation to subgrade, installation of drywells, lower level foundations footings and core walls, installation of structural steel and lower level slabs. This phase of construction is anticipated to last through late spring of 2020.

The existing fencing, pedestrian access, bike lanes, and traffic flow are expected to remain the same throughout the

#### Construction Hours:

Year-round exterior construction hours will be limited to 7:30am- 5:30pm Monday through Friday and 9:00am-5:00pm Saturday.Interior activities may be performed 24 hours per day with certain date restrictions and on an approval basis only. No construction on Sundays

No construction will be permitted during the following holidays and special events: Presidents Day, Memorial Day Weekend, Food and Wine Classic, Fourth of July, Labor Day Weekend, Thanksgiving Day, Christmas Day (and week), and New

Detailed construction information can be found in the Construction Management Plan online at crystalpalaceproject.com



# Crystal Palace Communications Plan: Posters

Public information posters will contain construction updates with up-to-date site plans, traffic flow changes, relevant renderings, and project contact information. These posters will be formatted in 24 x 36 inch and be printed on weatherproof gatorboard. They will be adhered to the construction fencing on both South Monarch and East Hyman. Specific locations and number of posters will be cleared with the Planning Department prior to mounting.

# crystal palace project construction plan





#### **Construction Updates and Communications**

Our team is excited to share all of the hard work we have been doing in preparation for breaking ground at 300 E Hyman Avenue (Crystal Palace). Most importantly, how we will be communicating with you throughout the project. We truly value our relationship with our neighbors and the greater community and want to keep you informed of the anticipated impacts and traffic changes expected during the construction phases.

We will be utilizing a variety of methods to disseminate information to you, including public meetings, on-site posters, emails, enhanced mailings, our project web page, City channels, and newspaper announcements. We will also have an on-site representative who you can contact with any project questions or urgent matters.

If you are interested in learning more about this project please visit our website to register for regular project updates and scheduling: crystalpalaceproject.com.

#### Preliminary schedule

#### Phase I

September-October 2019

Mobilization and Existing Structure Demolition

#### Phase II

October 2019 -May 2020 Excavation, Earth Retention, Foundations, Structure

#### Phase III

April 2020 -August 2020 Masonry, Structural Framing, Rough MEP's,

Windows + Roof

#### Phase I V

August 2020 -September 2021

Trim MEP's, Site Work + Finishes

#### Phase I: What to Expect





#### Scope of Work:

During Phase I, construction will focus on prepping the site for building demolition and prepping Hyman Avenue to change from a two-way road to a one-way road with traffic flowing towards Mill Street. This will include the installation of construction fencing, re-striping Hyman Avenue, and creating pedestrian/cyclist protection barriers. This process will start with the removal of building utilities, streetlights, signs, installing temporary electric, erecting the perimeter barriers and installing sound abatement, and installing bracing for the historic west and south masonry walls. Changes to traffic flow will not impact current bus routes, and will change existing head-in parking to parallel parking for the duration of construction. A site plan can be seen above to the right:

#### Construction Hours:

Year-round exterior construction hours will be limited to 7:30am - 5:30pm Monday through Friday and 9:00am-5:00pm Saturday.

Interior activities may be performed 24 hours per day with certain date restrictions and on an approval basis only. No construction on Sundays.

No construction will be permitted during the following holidays and special events: Presidents Day, Memorial Day Weekend, Food and Wine Classic, Fourth of July, USA ProCycling Challenge, Labor Day Weekend, Thanksgiving Day, Christmas Day (and week), New Years Day.

#### Questions? Emergency? Please contact us at the information listed below:

General inquiries, scheduling updates, website and project update registration: crystalpalaceproject@gmail.com / 970.510.0094 (BendonAdams)
Urgent site questions (access, parking, staging, right-of-way issues): Safety Officer + Site Manager Brad Hribar 312.714.8519 (Centaur Construction)
Emergency: Aspen Fire Department 970.920.5532 Aspen Police Department 970.920.5400

CENTAUR



# Crystal Palace Communications Plan: Posters

# crystal palace project construction plan

#### Phase II Scope of Work:

Phase I of construction is near completion and our team has been very busy working on-site. To date we have disconnected utilities, installed construction gates, fencing, historic wall bracing and conducted demolition.

Phase II of construction will begin shortly and will focus on earth retention, foundation, and structure work. Specifically, this will include installation of an earth retention system, excavation to subgrade, installation of drywells, lower level foundations footings and core walls, installation of structural steel and lower level slabs. This phase of construction is anticipated to last through late spring of 2020.

The existing fencing, pedestrian access, bike lanes, and traffic flow are expected to remain the same throughout the duration of the project.

#### **Historic Preservation:**

The building located at 300 East Hyman Avenue, AKA the Crystal Palace, has been heavily altered over time with changes to the second story, brick detail, cornice, storefront, upper windows, door openings, and the Owl Cigar mural.

A historic preservation plan has been created detailing the history of the Crystal Palace property and changes to the building over time. This was to ensure that the remaining historic materials were incorporated into the new building design.

Historic photographs were used to determine the original structure and detail of the building, and the new construction has committed to restoring the building based upon this historic evidence.

Original materials are located in the west wall facing Monarch and will be protected and preserved. The historic design of the storefront and second floor will be carefully reconstructed using old photographs. A new addition will occupy the rest of the property.

#### **Construction Hours:**

Year-round exterior construction hours will be limited to 7:30am - 5:30pm Monday through Friday and 9:00am-5:00pm Saturday.

Interior activities may be performed 24 hours per day with certain date restrictions and on an approval basis only. No construction on Sundays.

No construction will be permitted during the following holidays and special events: Presidents Day, Memorial Day Weekend, Food and Wine Classic, Fourth of July, USA ProCycling Challenge, Labor Day Weekend, Thanksgiving Day, Christmas Day (and week), New Years Day.





Photos above courtesy of Aspen Historical Society.





#### Working schedule

#### Phase II

October 2019 - May 2020

Excavation, Earth Retention, Foundations, Structure



#### Phase III

April - August 2020

Masonry, Structural Framing, Rough MEP's, Windows + Roof



#### Phase I V

August 2020-September2021

Trim MEP's, Site Work + Finishes

#### Questions? Emergency? Please contact us at the information listed below:

General inquiries, scheduling updates, website and project update registration: crystalpalaceproject@gmail.com / 970.510.0094 (BendonAdams)
Urgent site questions (access, parking, staging, right-of-way issues): Safety Officer + Site Manager Brad Hribar 312.714.8519 (Centaur Construction)
Emergency: Aspen Fire Department 970.920.5532 Aspen Police Department 970.920.5400

CENTAUR

**BendonAdams** 

The project sign will be posted at the project site in a location where it is readable from the street and shall meet the criteria in City Municipal Code 26.510.030B4

Construction Management Plan

15 "



# 300 E. HYMAN

**BUILDING PERMIT #** 0092.2017.ACBK

> **EMERGENCY CONTACT:** BRAD HRIBAR 312,714,8519

### CENTAUR CONSTRUCTION

1200 W LAKE STREET, SUITE 200 CHICAGO, IL. 60609 PH: 312.644.4470



#### **Project Contacts** 3.4

Following is a list of the current Project Team contacts. Other project personnel will be added as they are made part of the Project Team.

#### **Owner**

312 E. Hyman Avenue, LLC. 2001 N. Halsted St, Suite 304

Chicago, IL 60614 Tel: 312-850-1680 Fax: 312-850-1685 mhunt@mdevco.com

#### Contractor

Centaur Construction

361 W Chestnut, Suite 200

Chicago, IL 60610 Tel: 312-644-4470 Fax: 312-644-4472

Brad Hribar

Project Manager Cell: 312-714-8519 bhribar@centaurco.com

Michael Buglione

Site Manager- 24hr Emergency

Cell: 970-227-5425

mbuglione@centaurco.com

Architect

Modif. Architects

Rob Avila

1200 W. Lake St, Suite 200

Chicago, IL 60607 Tel: 773-307-8420

rob.avila@modifarchitecture.com

Structural Engineer

**SP Engineers** 

Mehul Shani, P.E.

134 N. LaSalle St. Suite 1930

Chicago, IL 60602 Tel: 312-332-2800 Fax: 312-332-2820

mehul@spengineers.com

**Earth Rentention Engineer** 

Berkel & Company Contractors, Inc.

Adam S. Hurley, P.E. 2647 S. 142nd Street Bonner Springs, KS 66012

Tel: 913-422-3588

adam@berkelandcompany.com

Civil Engineer

Sopris Engineering, LLC

Yancy T. Nichol, P.E. 502 Main Street Carbondale, CO 81623

Tel: 970-704-0311

ynichol@sopriseng.com

**MEP Engineer** 

**AEC Mechanical** 

Stanton O Humphries, P. E.

40801 US-6 #214 Avon. CO 81620

Tel: 970-748-8520

stan@aec-vail.com



**Landscape Architects** Bluegreen

Sheri Sanzone

300 South Spring Street, suite #202

Aspen, CO. 81611 Tel: 970-379-7869

sheri@bluegreenaspen.com

**Safety Officer Brad Hribar** 

Cell: 312-714-8519

**Sound Engineer Acoustical Solutions** 

Jordan Moran 2420 Grenoble Rd. Richmond, VA 23294

Tel: 804-346-8350

im@acousticalsolutions.com

**Erosion Control Officer Brad Hribar** 

Cell: 312-714-8519

**Traffic Control Officer** 

A-1 Traffic Control & Barricade, Inc.

Cal Whitman 32597 Hwy 6 Silt, CO. 81652

Tel: 970-876-0738

#### **Additional Contact Information**

City of Aspen 970-920-5000 Pitkin County 970-920-5200 Fire Department 970-920-5532 Police Department 970-920-5400 Roaring Fork Transit Authority 970-925-8484 School District 970-925-3760 Aspen Sanitary District 970-925-3601 Aspen Water District 970-920-5110 Aspen Electric 970-920-5148 Holy Cross Electric 970-945-5491 Aspen Valley Hospital 970-925-1120 For ALL EMERGENCIES - CALL 911



#### 4.1 **Dates of Construction**

The preliminary schedule is based on an April 2019 through April 2021 timeframe.

- Phase I Sept / October 2019 Mobilization and Existing Structure Demolition
- Phase II Nov 2019 August 2020 Earth Retention, Foundations, Structure
- Phase III September 2020 February 2021 Masonry, Structural Framing, Rough MEP's, Windows, and Roof
- Phase IV March 2021 July 2021- Trim MEP's, Site Work, and Finishes

Please reference the attached schedule (Section 4.3) for additional detail.



#### 4.2 Hours of Construction

Year-Round Exterior Construction hours will be limited to:

7:30am-5:30pm Monday through Friday and 9am-5pm Saturday

Interior activities may be performed 24hrs per day with certain date restrictions and on an approval basis only.

In addition, NO CONSTRUCTION ACTIVITY will take place on the following dates:

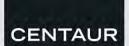
Any Sunday Presidents Day Memorial Day Weekend Memorial Day Food and Wine Classic Fourth of July Labor Day Weekend Labor Day Thanksgiving Day Christmas Day

NO EXTERIOR ACTIVITY will take place on the Friday before Christmas - New Years, (Christmas Week). Additional dates may be added per the City of Aspen, however interior work may be permitted with prior approval.

Specific indoor activities during restricted periods may be permitted with approval from the City of Aspen Engineering Department; specific conditions will be applied to each project separately. During the off-season 24 hour a day interior work may be permitted within the CRA, the applicant must present a work plan to the City of Aspen Engineering Department and the plan must be approved prior to working outside of the normal construction hours.

On Season Time Frame: On seasons are defined as June 1<sup>st</sup> thru Labor Day and November 15th thru March 31st.

Additional restrictions on construction hours and encroachments will be applied for Aspen Special Events. Examples of events that will require additional restrictions include the USA Pro Cycling Challenge and the Farmer's Market.



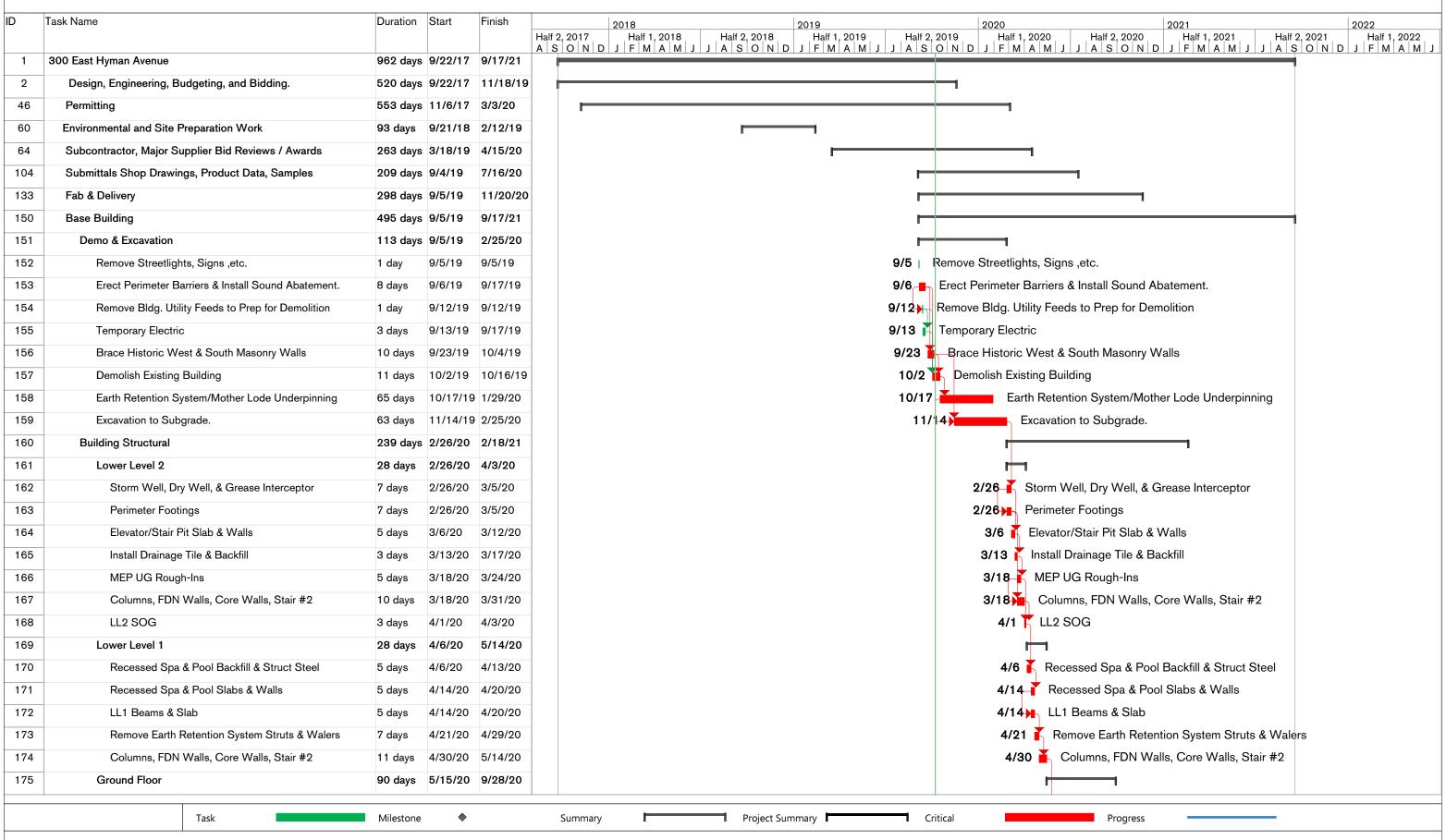
Additional restrictions on construction hours will also be applied based on the project's specific impacts on adjoining properties. This includes limiting work during sales events (for a maximum of two sales events per year), maintaining site lines to these businesses, and providing signage on the construction site advertising the adjacent business. For example, if an adjoining business has an event (such as a semiannual sale) the project will accommodate this adjoining business to ensure the construction activities do no adversely affect that business's event.

Additional dates may be added per the City of Aspen.

#### 4.3 Sequence of Construction

The attached schedule is intended to be a "Living Document" and will adjust as required throughout the project duration.

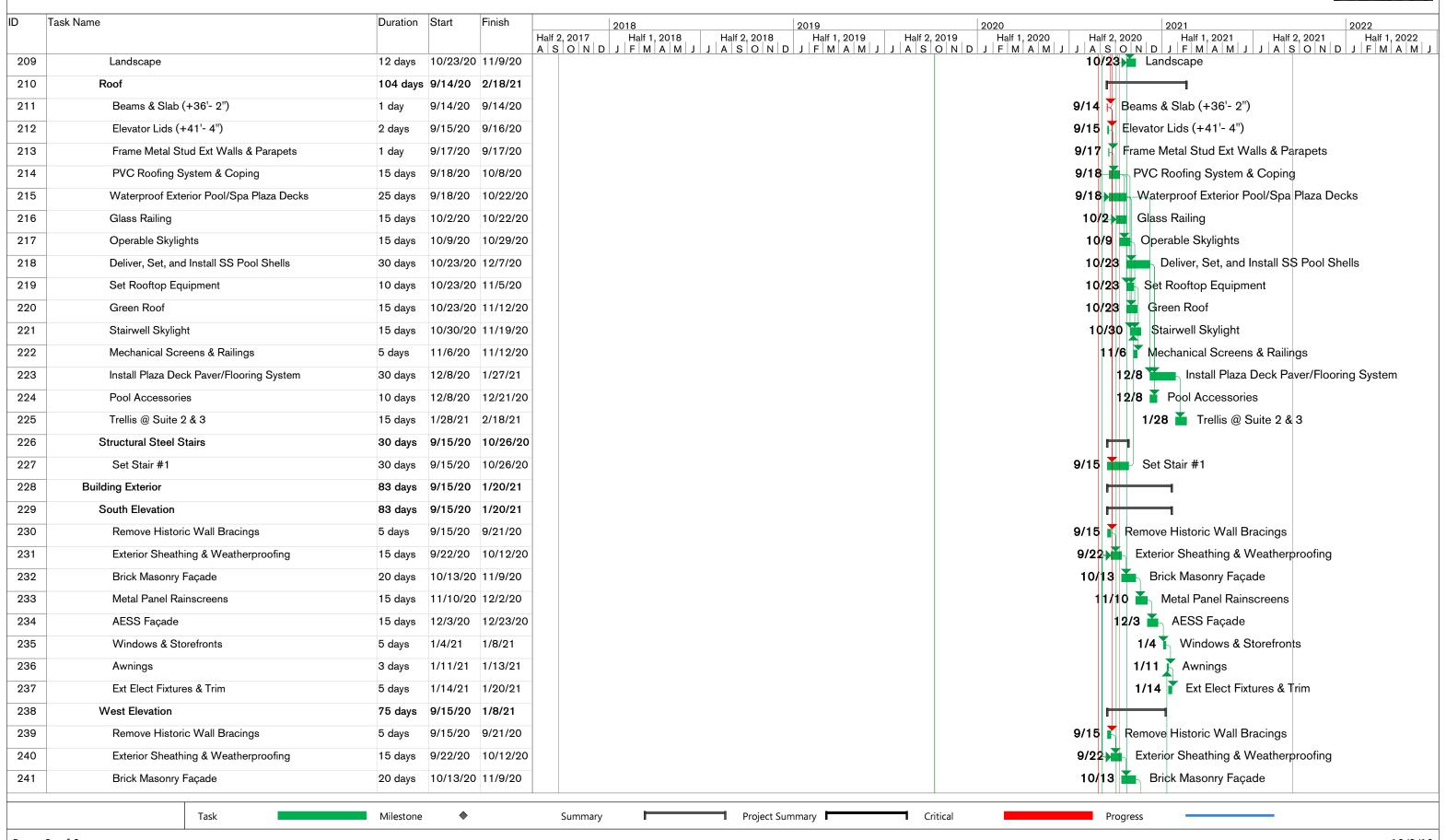






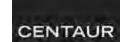
	ask Name	Duration	Start	Finish	2018 2019 2020 2021 2022
					Half 2, 2017       Half 1, 2018       Half 2, 2018       Half 1, 2019       Half 1, 2020       Half 2, 2020       Half 1, 2021       Half 2, 2021       Half 1, 2021         A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D J F M A M J J J A S O N D D D J F M A M J J J A S O N D D D J F M A M J J J A S O N D D D J F M A M J J J A S O N D D D J F M A M J J J A S O N D D D J F M A M J J J A S O N D D D D D D D D D D D D D D D D D D
76	Cut Down ERS/Pour Perimeter Haunch	5 days	5/15/20	5/21/20	5/15 Cut Down ERS/Pour Perimeter Haunch
7	Beams & Recessed Slab (-2'- 2")	10 days	5/22/20	6/5/20	5/22 Beams & Recessed Slab (-2'- 2")
8	Slab (0'- 0")	10 days	6/8/20	6/25/20	6/8 Slab (0'- 0")
9	Columns, Core Walls, Stair #2	10 days	6/26/20	7/10/20	6/26 Columns, Core Walls, Stair #2
30	Concrete Curbs & Piers	2 days	7/13/20	7/14/20	7/13 Cencrete Curbs & Piers
81	CMU Walls	10 days	9/15/20	9/28/20	9/15 CMU Walls
2	Frame Ext. Metal Stud Walls	5 days	9/15/20	9/21/20	9/15 Frame Ext. Metal Stud Walls
3	Second Level	63 days	7/13/20	10/8/20	
4	Beams & Recessed Slab (+11'- 7")	7 days	7/13/20	7/21/20	<b>7/13 K</b> Beams & Recessed Slab (+11'- 7")
5	Slab (+12'- 10.5")	10 days	7/22/20	8/4/20	7/22 Slab (+12'- 10.5")
6	Columns, Core Walls, Stair #2	7 days	8/5/20	8/13/20	8/5 Columns, Core Walls, Stair #2
7	Frame Ext. Metal Stud Walls	3 days	9/15/20	9/17/20	9/15) Frame Ext. Metal Stud Walls
8	CMU Walls	8 days	9/29/20	10/8/20	9/29 CMU Walls
9	Third Level	42 days	8/14/20	10/13/20	
)	Beams & Recessed Spa & Pool Slabs (+23'- 10")	7 days	8/14/20	8/24/20	8/14 📕 Beams & Recessed Spa & Pool Slabs (+23'- 10")
1	Beams and Slab (+24'- 10")	8 days	8/25/20	9/3/20	8/25 Beams and Slab (+24'- 10")
2	Columns, Core Walls, Stair #2	5 days	9/4/20	9/11/20	9/4 Columns, Core Walls, Stair #2
3	Frame Ext. Metal Stud Walls	3 days	9/18/20	9/22/20	9/18) Frame Ext. Metal Stud Walls
1	CMU Walls	3 days	10/9/20	10/13/20	10/9 CMU Walls
5	Site Work & Site Utilities	47 days	9/3/20	11/9/20	
3	Tap & Tie-In New Sewer Service	5 days	9/3/20	9/10/20	9/3 Tap & Tie-In New Sewer Service
7	New XFMR Vault	5 days	9/3/20	9/10/20	9/3 New XFMR Vault
3	Cable & Communications Services	5 days	9/3/20	9/10/20	9/3 Cable & Communications Services
9	New Gas Line & Meter	3 days	9/11/20	9/15/20	9/11 New Gas Line & Meter
0	Demo & Excavate Sidewalks to Subgrade	5 days	9/11/20		9/11 Demo & Excavate Sidewalks to Subgrade
1	Re-Pave Alley after Utility Install	5 days	9/16/20		9/16 Re-Pave Alley after Utility Install
2	Silva Cells Install	5 days	9/18/20		9/18   Silva Cells Install
3	Irrigation/Utility/Electric Rough-In	5 days	9/25/20		9/25   Irrigation/Utility/Electric Rough-In
4	Site Concrete - Curb & Gutter, Ramps, Aprons, etc.	7 days		10/12/20	10/2 Site Concrete - Curb & Gutter, Ramps, Aprons, etc
5	Snow Melt & Pavers	7 days		10/21/20	10/13 Snow Melt & Pavers
3	Repave Hyman & Monarch	5 days		10/19/20	10/13 Repave Hyman & Monarch
7	Remove Barricades	1 day		10/22/20	10/22 Remove Barricades
8	Relocate Fire Hydrant & Finsh Sidewalks	5 days		10/29/20	10/23 Relocate Fire Hydrant & Finsh Sidewalks





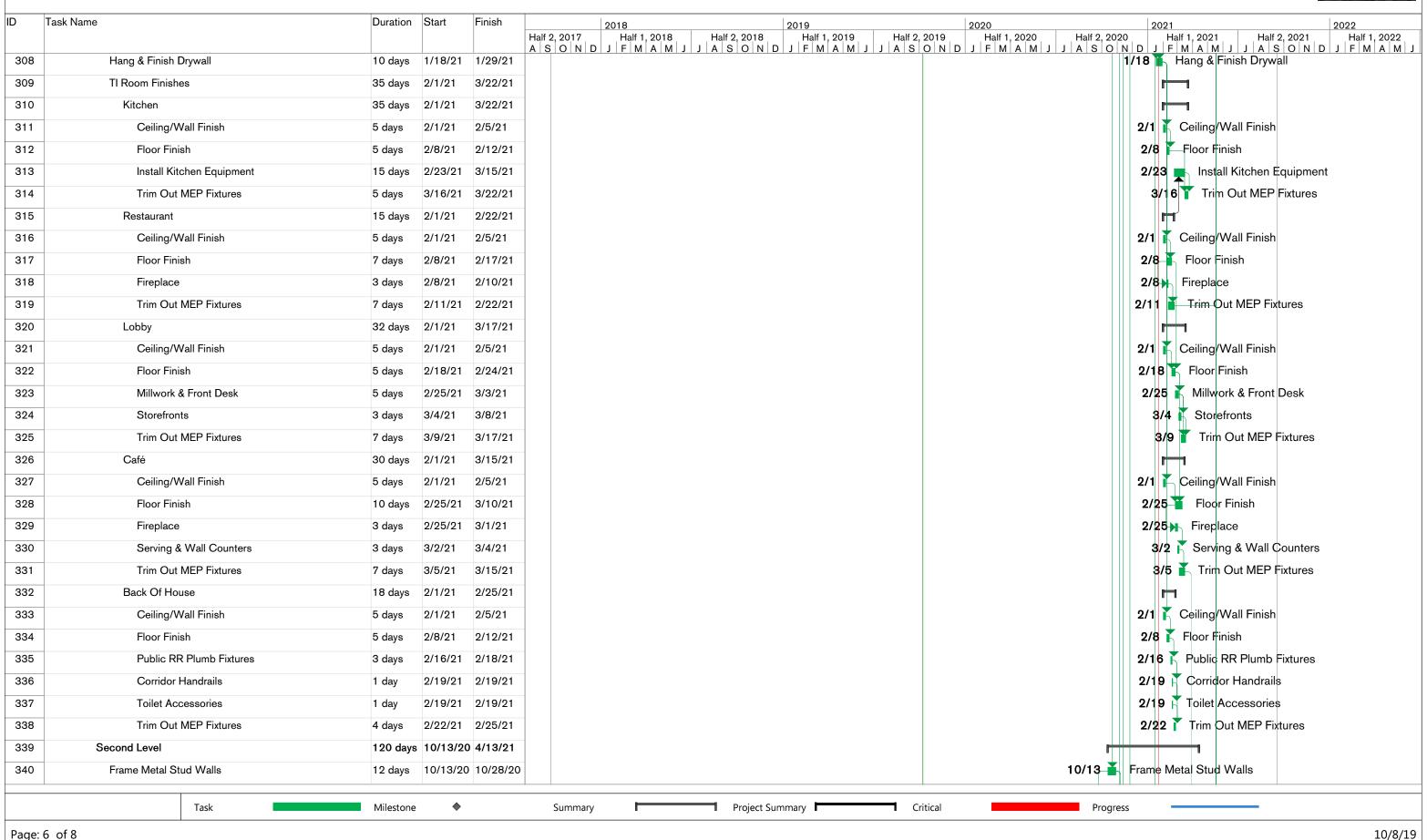






75 76	Mechanical R/I			H	Haif 2, 2019 Haif 1, 2020 Haif 2, 2020 Haif 1, 2021 Haif 2, 2021 Haif 1
	Mechanical Ru	OF -I	10/00/00	11/05/00	JASONDJFMAMJJASONDJFMAMJJASONDJFM
6		•	10/22/20		
_	Plumbing R/I	•	10/22/20		10/22 Plumbing R/I
7	Insulate Walls	•	11/30/20		11/30 Insulate Walls
3	Hang & Finish Drywall	•	12/3/20		1 2/3 Hang & Finish Drywall
9	TI Room Finishes	•	12/17/20		
)	Locker Rooms	·	12/17/20		
I	Ceiling/Wall Finish	5 days	12/17/20	12/23/20	1 2/17 Ceiling/Wall Finish
2	Floor Finish	5 days	1/4/21	1/8/21	1/4 Floor Finish
3	Trim Out MEP Fixtures	2 days	1/11/21	1/12/21	1/11 Trim Out MEP Fixtures
	Install Lockers	2 days	1/13/21	1/14/21	1/13 Install Lockers
5	Steam & Sauna Rooms	19 days	12/17/20	1/21/21	
3	Ceiling/Wall/Floor Finish	10 days	12/17/20	1/8/21	12/17 Ceiling/Wall/Floor Finish
7	Install Benches	3 days	1/11/21	1/13/21	1/11 Install Benches
3	Install Glass Doors	3 days	1/14/21	1/18/21	1/14 Install Glass Doors
)	Trim Out MEP Fixtures & Accessories	3 days	1/19/21	1/21/21	1/19 Trim Out MEP Fixtures & Accessories
)	Guest Rooms	24 days	12/17/20	1/28/21	
1	Ceiling/Wall Finish	10 days	12/17/20	1/8/21	1 2/17 👛 Ceiling/Wall Finish
2	Shower Floor/Wall Finish	8 days	1/11/21	1/20/21	1/11 Shower Floor/Wall Finish
3	Trim Out MEP Fixtures & Accessories	3 days	1/21/21	1/25/21	1/21 Trim Out MEP Fixtures & Accessories
ļ.	Install Glass Partition	3 days	1/26/21	1/28/21	1/26 Install Glass Partition
5	Spa & Pool	30 days	12/17/20	2/5/21	
3	Ceiling/Wall Finish	15 days	12/17/20	1/15/21	12/17 Ceiling/Wall Finish
,	Pool & Spa Deck Finish	10 days	1/18/21	1/29/21	1/18 Pool & Spa Deck Finish
3	Pool & Spa Finishes & Accessories	5 days	2/1/21	2/5/21	2/1 Pool & Spa Finishes & Accessories
9	Trim Out MEP Fixtures	4 days	2/8/21	2/11/21	2/8 Trim Out MEP Fixtures
)	Main Level	115 days	9/29/20	3/22/21	
1	Frame Metal Stud Walls	10 days	9/29/20	10/12/20	9/29 Frame Metal Stud Walls
2	Door Frames & Doors	•	9/29/20		9/29 Door Frames & Doors
3	Fire Sprinkler R/I		10/20/20		10/20 Fire Sprinkler R/
ļ.	Electrical R/I		10/27/20		10/27 Electrical R/I
j	Plumbing R/I	•	11/30/20		11/30 Plumbing R/I
3	Mechanical R/I	·	11/30/20		11/30 Mechanical R/I
7	Insulate Walls	·	1/13/21		1/13 Insulate Walls















#### 4.4 Adjoining Properties

Prior to excavation, the Contractor will develop a comprehensive shoring plan by a State Certified Engineer so as not to endanger any adjacent public street, sidewalk, alley, other public or private property, or easement without supporting and protecting the property from any damage that might result from construction operations.

#### 4.5 **Project Fencing**

All construction areas will be enclosed with a perimeter temporary barricade to create a construction impact containment zone (CICZ). The barricade will be aprox 11 feet in height and be constructed out of concrete jersey barriers with solid plywood walls atop in accordance to the Sound Mitigation Model. The plywood walls will be laterally supported to the jersey barriers with steel braces and bolted together to form a continuous visual and sound barrier. The jobsite gates and access points will be constructed of steel framing with a solid plywood painted finish, a minimum of 10 feet in height. Exceptions to this configuration may occur during some activities as needed to facilitate certain construction activities and maintain the safety of the public. The activities include, but are not limited to, shoring/temporary earth retention, utility tie-ins, alley façade/exterior envelope construction. Temporary chain link fencing panels with mesh windscreen may be used as a temporary barrier during these activities.

Entrances to the site will be secured with lockable gates. Emergency access points will be kept clear and access will be provided with KNOX fire access box or padlock as coordinated with Parker Lathrop at the local Fire Department.

The project construction will be oriented to minimize harm to all aspects of the City of Aspen's natural environment. The existing trees in the property Right-of-way will be removed and replaced pursuant to City of Aspen Municipal Code 13.20.

Reference the attached Site Logistics Plan in Section 5, Renderings in Section 7.0, and the Acoustic Analysis Report in Section 11.2 for specific information and detailing.

#### 4.7 Parks - Natural Environment



# **City of Aspen**

# **Landscape / Grading Permit**

130 South Galena Street, Aspen, Colorado 81611

Phone (970) 920-5090 Fax (970) 920-5440

PERMIT NO.

			<i>'</i>	, ,						
Job Address 300-312 E H	yman .	Avenue								
Legal Description	Lot K,L &		Block 81	Tract or Subdivis				Parcel ID (call 92 273 707 3		
Best Contact Name, Brad Hribar -				hribar@centa	aurco.com (3	312) 714-8519				
<sup>Owner</sup> 312 East Hyr	man A	venue Ll	Address _C 2001 N	Halsted St.,	Suite 304, Chic	Phone No. cago, IL 60614	(312) 85	E-mail 0-1685		
Owner's Authorized A Brad Hribar -		aur Cons	truction	Phone No. (312) 714-8	3519	Alternate Phone No. 312 644 4470		E-mail bhribar@c	entaurco.com	
Landscape Architect	/ Enginee	r		Phone No.		Alternate Phone No.		E-mail		_
Bluegreen Contractor / Landsca	per			(970) 429-7 Phone No.	499	Alternate Phone No.		E-mail	luegreenaspen.cor	
Description of Work	:									_
Building rem	nodel/r	new cons	struction, rem	oval/replacen	nent of sidewa	lks, curb ramp	s, streetscap	pe, and regu	ılatory signage	
Area of Disturbance:			Pervious: 572 S	 F	118	67 SF (incl blo	la footprint)	Valuation of wor	rk \$	
Snowmelt?			Sq. Ft. of Snowmelt		Impervious: 110		ig rootprint)	2,591,377		_
Pool / Sna?	yes	no	3,046 SF Sq. Ft. of Pool / Spa	1						
	yes	no	352 SF							
Use of Building Reside	ential	С	ommercial							
Engineering Level	of Revie	w:	Simple Mino	or Major						
					NOTICE					
					•	-			nstruction authorized is r	IOU
commenced withii	n 12 moi	ntns, or it co	instruction or wor	k is suspended or	abandoned for a pe	riod of 180 days at	any time after w	ork nas commer	icea.	
						-			governing this type of wo	
· ·		-			•	_	-	· ·	visions of any other state	
local law regulating see that the struct	_		•			review the approv	ed plans and any	y comments tha	t are contained thereon a	nd
			·	C	ITY OF ASPEN US					_
The General Conti pulled under a bui			•			Aspen of 2.1% on	the building per	mit at the time	of issuance. All subperm	its
Contractor Signature		1			Print Name	0	. (		Date	
Owner Signature (if C			RIBAR		Brad Hribar Print Name	- Centaur Con	struction		9/15/2017 Date	
Owner signature (ii c					312 East Hy	man Avenue I			9/15/2017	
FOR CITY USE		ets of 24"	x 36" drawings	and one set of	11" x 17" drawing	s, drawn to scale	, must accomp	any this appli	cation.	
Presubmittal by:	OIVE		Application Accepte	ed by:	Plan Check by:		Approved for Issu	ance by:	T	_
Date			Date		Date		Date		-	
Historic Property?	HPC Ce	rt. of Appropr	riateness	Lot Area	Zone District			No. of Additiona	Parking Spaces:	
no yes	[	yes	no							
APPROVALS Zoning	+	Auth	orized by:	Date	FEES City Use Tax	Cost	Receipt	No. & Date	NOTES	
HPC	+				County Use Tax				$\dashv$	
Engineering	+				Zoning				$\dashv$	
Parks					Eng System Dev				$\dashv$	
Fire	+				Permit Fee					
СМР					Plan Check					
Other:	$\dagger \dagger$				REMP					
THIS IS A	PERMI	T ONLY W	/HEN VALIDAT	ED. WORK						
STARTED \	NITHO	UT PERM	IT WILL BE DO	UBLED FEE.					7	
									7	



(Note: Applications will NOT be processed until the application fee is paid.)

#### THE CITY OF ASPEN

Parks Department 585 Cemetery Lane Aspen, CO 81611 Parks Office: 970.920.5120

3	FUR PA	IRKS USE		()
Date Received:	41-18	_ Per	rmit # 2018	012
Date Responded:			ng Permit #:	
	(If applicable) Amount \$ 20 (		11.00	1 (N)
Fees Paid: (Y/N	Amount \$ 206	Credit / Cash /	Check# 1620	I Init: (1)

			EXCAVATION PERMIT
	ease submit the following information to the Parks ease check the appropriate options below:	Department, to	gether with your check payable to the City of Aspen.
	□ \$77 – Non construction related □ \$206 – Construction related		Tree Removal Permit Drip Line Excavation
1.	Site address - 300 - 312 E Hyman Avenue		
2.	Outline/Sketch/Drawing of property to include: (P. a. Property address. b. Property boundaries. c. Locations of buildings on the property. d. Location, diameter, and species of trees on property.		WO copies)  Ignate with arrows or circles which trees are to be removed
3.	List trees to be removed, species and diameter at following equation: Max value = \$42 x 3.14 x (D	4.5' above grac /2) <sup>2</sup> , D = Diame	le. City Forester will define tree values utilizing the ter of tree in inches at 4.5' above grade.
4.	Reason for Removal: Site construction	*	£1
	Reason for Removal. Site construction		
5.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser	es needed)	
5.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced.	es needed)	
	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser	es needed)	
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):	es needed) ry stock, delive	
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):	ry stock, deliver	ry, and installation).  Phone: (312) 714-8519
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):  a) Primary Contact Name: Brad Hribar - Centau	ry stock, deliver	Phone: (312) 714-8519
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):  a) Primary Contact Name: Brad Hribar - Centau Email Address: bh	ry stock, deliver r Construction ribar@centaurce	Phone: (312) 714-8519  o.com  Sam Baucum  Phone: (970) 429-7499 Fax:
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):  a) Primary Contact Name: Brad Hribar - Centau Email Address: bh  b) Name of Architect or Construction Representate Company Name (please print):  Signature of Representative:	ry stock, deliver r Construction ribar@centaurco	Phone: (312) 714-8519  D.com  Sam Baucum  Phone: (970) 429-7499 Fax:  Date: 9/15/2017
. 6.	Mitigation Plan {relocation of trees or replaceme Please ADD to the Property Drawing: (TWO copie a. Location of replacement/relocation trees. b. Size and species of trees to be replaced. c. Professional cost estimate of planting (nurser Estimated Start Date of Project: 4/2018  Person(s) responsible for project (applicant):  a) Primary Contact Name: Brad Hribar - Centau Email Address: bh  b) Name of Architect or Construction Representate Company Name (please print):  Signature of Representative:	ry stock, deliver r Construction ribar@centaurco	Phone: (312) 714-8519  D.com  Sam Baucum  Phone: (970) 429-7499 Fax:  Date: 9/15/2017
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MUST BE POSTED ON PROPERTY DURING REMOVAL

#### MUST BE POSTED ON PROPERTY

#### Tree Removal Permit #2018-022

On September 5, 2018, Ian Gray, City Forester, performed an onsite inspection of the property located at **300-312 E Hyman Avenue**. The applicant is requesting a tree removal/drip line excavation permit for 10 trees. The property is being completely rebuilt. See site-specific notes below for tree protection measures and other requirements for the duration of the building process. The list of trees requested for removal is as follows:

- Seven Ash trees 5.5"/5.7"/10.2"/6.2"/9.0"/3.0"/3.0" inches DBH These trees, numbered #4-#10, are located at the south side of the property along Hyman Ave. These are City of Aspen assets and right-of-way trees. Due to restrictions caused by the requirements imposed by historic preservation of the site removal has been requested. These trees are not sustainable and may be removed. The applicant has agreed to install Silva Cells below the new sidewalk pavement when 4 new trees are planted here at the end of the project.
- Three Crabapple trees 12.5"/10.0"/7.0" inches DBH These trees, numbered #1- #3, are located on the west side of property along Monarch Street. These trees are not sustainable and may be removed. The applicant has agreed to plant 3 new trees here at the end of the project.

The trees approved for removal have been assigned a value using a standard formula developed for all trees found within the City of Aspen. The formula is as follows: Value= $$42.00 \times 3.14 \times (D/2)^2$ , where D is the diameter of the tree at breast height. Tree numbering was provided by applicant, tree diameters were sampled by City Forester and condition ratings were assigned. A new tree planting quote was provided by the applicant in the amount of \$6,011.40, which has been deducted from the assessed mitigation of \$14,774.67 Removal of the trees #1-10 is approved. The mitigation of \$8,763.27 is owed to the Parks Department, cash-in-lieu, prior to the release of this permit.

Property / Tree Inspection

Ian Gray

Forester, City of Aspen

Ben Çarlsen

Open Space and Natural Resources Manager

9/12/13

Date

Date

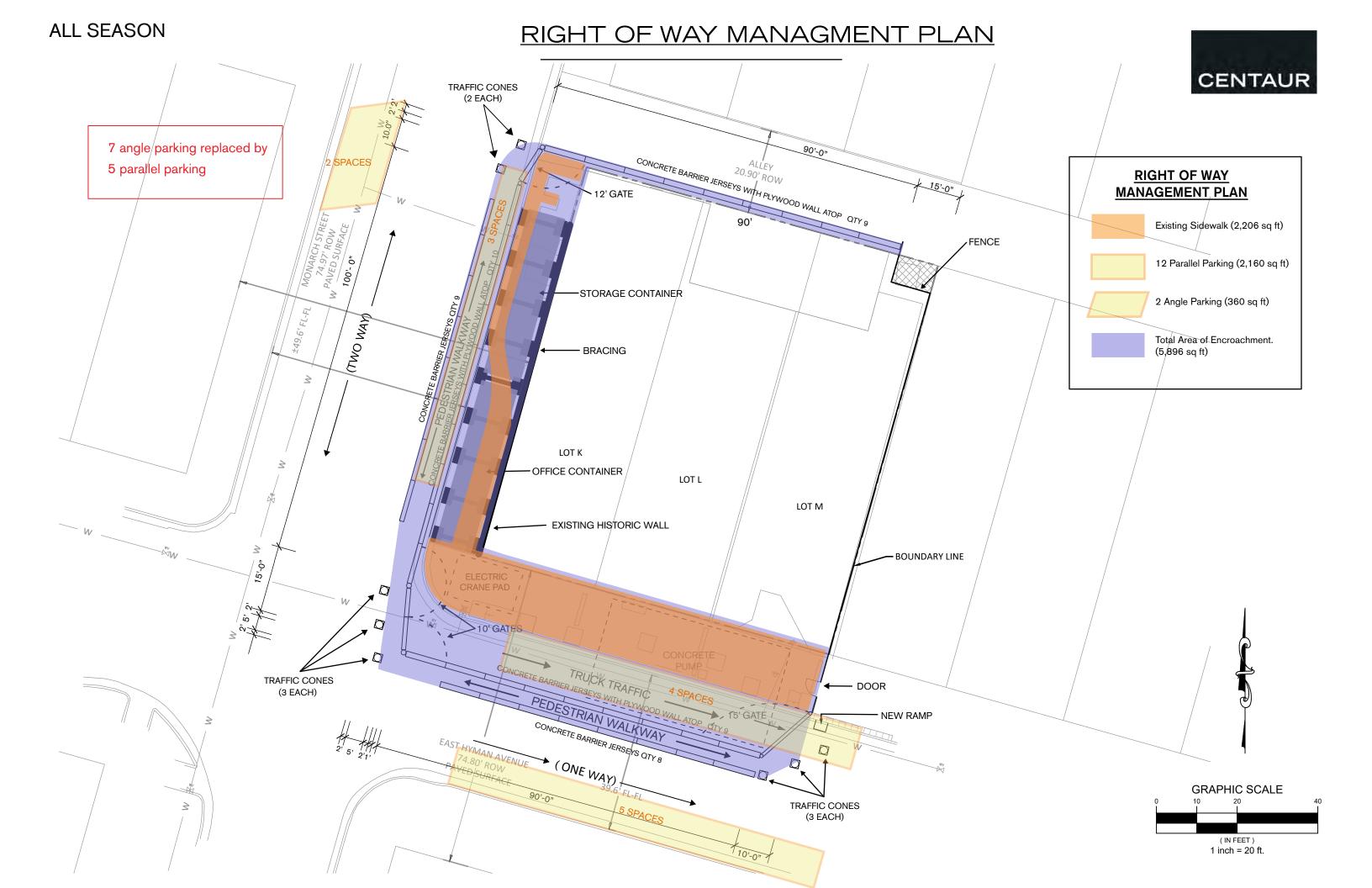
Permit valid 2 business days AFTER issuance. Permit valid for one year after approval date.

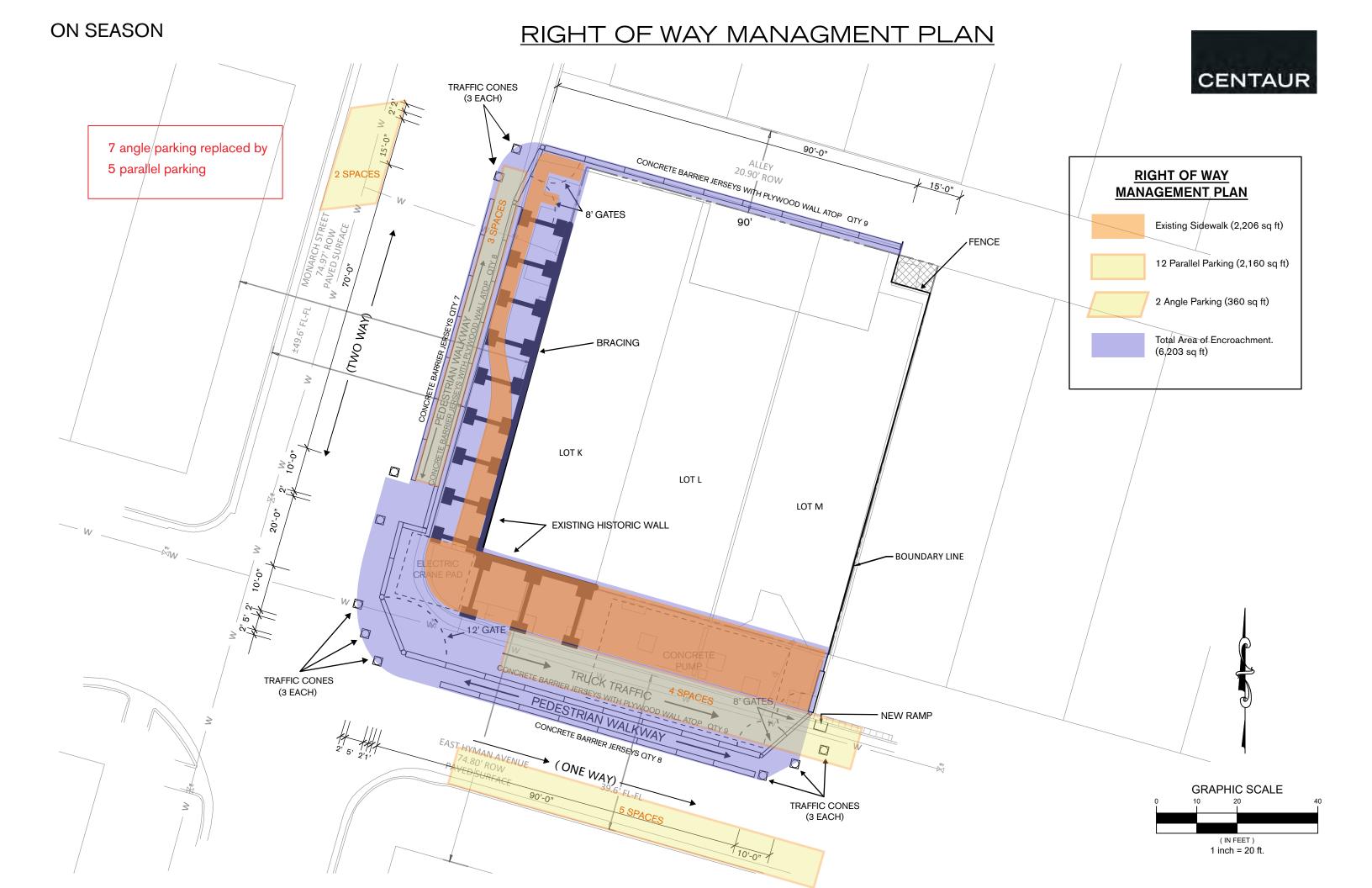


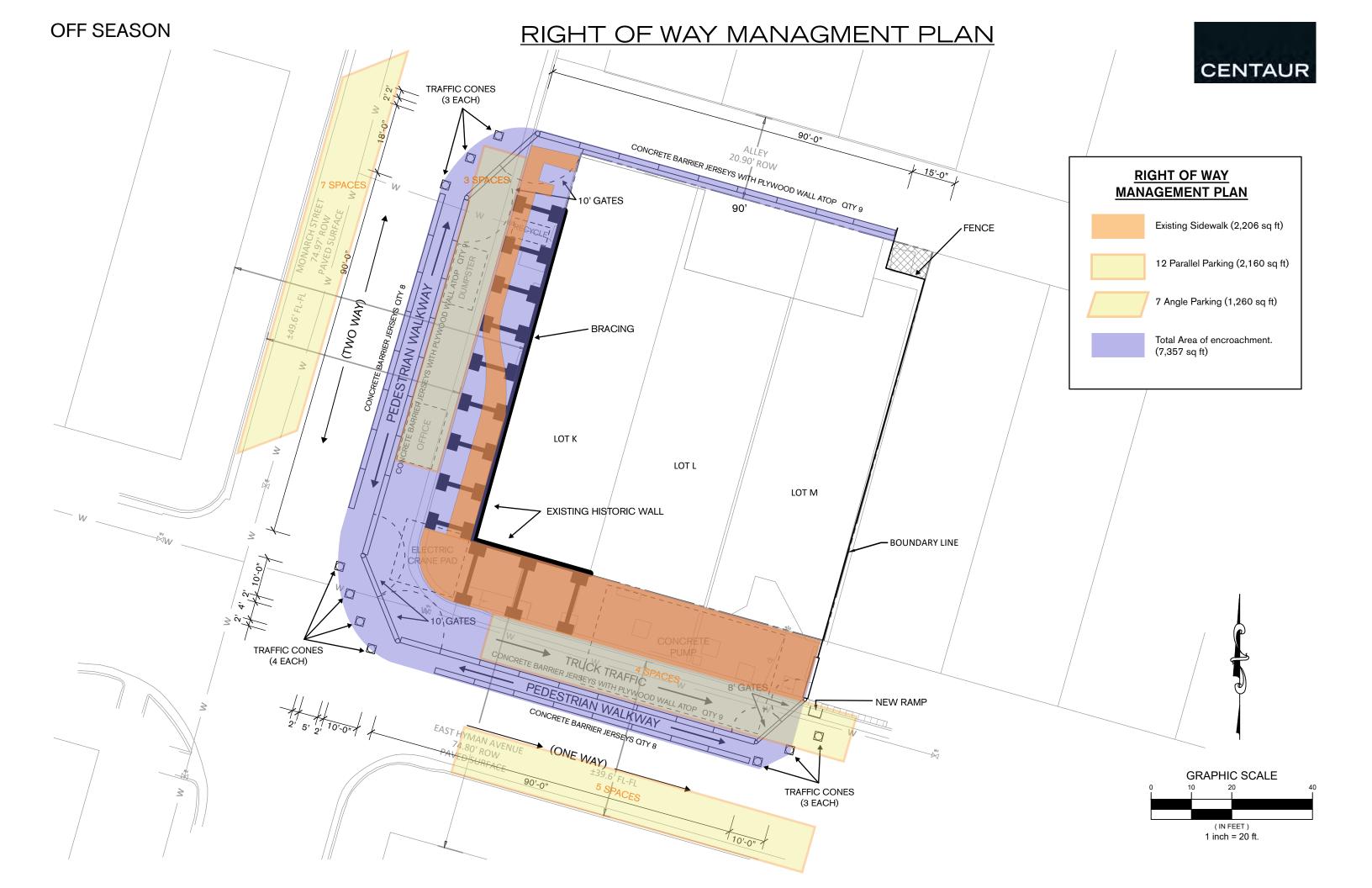
#### 5.1 Right of Way Management Plan

The Contractor will require and apply for the relocation of the parking meter, fire hydrant, light pole, and loading zone adjacent to the property for traffic management. This includes approximately five (5) spaces along the South side of E. Hyman, four (4) spaces along the North side of E. Hyman, three (3) spaces along the East side of Monarch Street, and seven (7) spaces along the West side of Monarch Street during the "Off Season". During the "On Season" and "All Season" it will be approximately five (5) spaces along the South side of E. Hyman, four (4) spaces along the North side of E. Hyman, three (3) spaces along the East side of Monarch Street, and two (2) spaces along the West side of Monarch (Converting angle parking to parallel). Currently there is metered street parking both on E. Hyman and Monarch Street.

(Reference attached ROWMP for specific information and detailing)









#### 5.2 Emergency Vehicle Access & Ordinance 35

The Contractor will maintain continuous emergency vehicle access for police, fire, and ambulance services on and around the site and will comply with Ordinance No. 35, Series of 2002 (4 pages). A copy of Ordinance is included on the following page for reference. Emergency services will be notified of this project and offered the option of site tours for orientation on project access.

#### 5.3 Construction Parking

Parking will be not be provided. Project management staff, specific trade subcontractors, inspectors, and visitors will be encouraged to secure parking outside the City limits and utilize the Roaring Fork Transit Authority System (RFTA), carpool, vanpool, paid shuttle, or other means to access the site. The Contractor may request permits from the City of Aspen for specific parking spaces/area for use by the Contractor and/or Subcontractors involved in the construction process. Included after Ordinance No. 35

No construction parking will be permitted within the free two-hour residential parking areas without a valid permit.



#### ORDINANCE NO. 35 (SERIES OF 2002)

AN EMERGENCY ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ASPEN, COLORADO, TO AMEND SECTION 11.04 OF THE MUNICIPAL CODE OF THE CITY OF ASPEN - FIRE PREVENTION AND PROTECTION AND TO AMEND SECTION 24.16 OF THE MUNICIPAL CODE OF THE CITY OF ASPEN - RESIDENTIAL PARKING PERMIT SYSTEM FOR THE PURPOSE OF IMPLEMENTING NEW REGULATIONS ENSURING THE SAFETY OF CONSTRUCTION SITES.

WHEREAS, the City Council of the City of Aspen directed the Community Development Director and the Chief Building Official of the Community Development Department to propose amendments to the Municipal Code to improve fire protection for construction sites and improve emergency access and parking for construction sites; and,

WHEREAS, the amendments requested relate to Section 11.04.030. Fire Prevention and Protection - Amendments, and to Section 24.16, Residential Parking Permit System, of the Aspen Municipal Code; and,

WHEREAS, pursuant to Section 1.04.060, amendments to the Municipal Code may be approved by City Council by adoption of an Ordinance; and,

WHEREAS, the Chief Building Official, the Community Development Director. and the Aspen Fire Marshal recommend adoption of the amendments, as described herein. to the afore mentioned sections for the purpose of protecting the public health, welfare, and safety; and,

WHEREAS, City Council reviewed and considered the recommendations of the Chief Building Official, the Community Development Director, the Aspen Fire Marshal, and members of the public during a duly noticed public hearing; and,

WHEREAS, the City Council finds that the amendments, as hereinafter described, meet or exceed all applicable standards and that the approval is consistent with the goals and elements of the Aspen Area Community Plan; and

WHEREAS, the City Council finds that this Ordinance furthers and is necessary for the promotion of public health, safety, and welfare and should be adopted as an Emergency Ordinance pursuant to Section 4.11 of the City Charter.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ASPEN, COLORADO, THAT:

Section 24.16 of the Municipal Code of the City of Aspen, Colorado, which section defines, describes, authorizes, and regulates the on-street parking permit program within the City of Aspen shall hereby be amended by adding a section related to requirements for construction staging areas, construction parking areas, and emergency access areas for construction sites within the City of Aspen which said section shall read as follows:

Ordinance No. 35, Series of 2002

Page 1



#### 24.16.240 Construction Staging Area, Parking, and Emergency Vehicle Access Management Plan

To ensure proper public health, welfare, and safety, the City of Aspen requires approval of job site plans describing construction staging area(s), location and number of construction-related vehicles, and ensuring proper emergency vehicle access for construction projects within the City of Aspen. These plans are required for all residential construction or remodeling of 1,500 square feet, or more, for any construction or remodeling involving multi-family buildings (three or more units), or for any construction or remodeling involving commercial buildings. All other construction activity shall be considered exempt from these provisions.

The construction project shall be issued street parking permits for the expected duration of the project for a fee. Parking permits issued, pursuant to an approved Construction Staging Area, Parking, and Emergency Vehicle Access Management Plan, shall permit the all-day on-street parking of construction related vehicles within the specified construction parking area for the duration of the construction project. Construction vehicles parked outside of the approved area or after the specified construction duration shall be considered in violation.

The Chief Building Official shall require submission of a Construction Staging Area, Parking, and Emergency Vehicle Access Management Plan with submission of building permit documents. A building permit shall not be issued until such plan has been reviewed and approved by the Chief Building Official.

All construction staging and construction parking shall be confined to the areas defined in the approved plan for the job site. Workers shall be encouraged to carpool. Emergency access, as described in the approved plan for the job site, shall at no time be blocked. A stop work order may be issued upon noncompliance.

#### Section 2:

Section 11.04.030 of the Municipal Code of the City of Aspen, Colorado, which Section defines, describes, and authorizes the regulations for fire prevention and protection within the City of Aspen shall hereby be amended by adding a section related to requirements for construction projects within the City of Aspen and the use of temporary heating systems which said section shall read as follows:

The following shall be added to Section 8203.2.1.2:

To ensure proper public health, welfare, and safety, the City of Aspen requires any construction site using fuels to generate temporary heat for the purpose of conditioning space during the process of construction shall be equipped with:

1. Signaling devices capable of detecting dangerous levels of heat and/or smoke and capable of notifying a qualified party with responsibility to monitor the site and respond to the alarm and take appropriate actions;

Ordinance No. 35, Series of 2002



- As an alternate, an approved fire watch plan and schedule may be substituted for the alarm requirement;
- Associated supply lines shall be protected from flame or heat impingement resulting in failure of the appliance or supply hoses resulting in free flow of volatile fuel into the atmosphere and/or fire situation;
- A free flow shut-off value shall be required on all propane tanks supplying temporary heat systems; or,
- 5. Any other plan acceptable to the Fire Marshal.

Prior to the installation of any temporary heating device(s), the system equipment check list, prepared and maintained by the Fire Marshal, shall be submitted and approved by the Fire Marshal's Office. It shall be the responsibility of the contractor to notify the Fire Marshal prior to the activation of any temporary heating device.

The principal contractor or home owner-builder shall submit a statement acknowledging and agreeing to the terms of this section with submission of building permit documents. A stop work order may be issued upon non-compliance with provisions of this section.

(jj) Section 16 of the Appendix II-A of the Uniform Fire Code is amended as follows:

#### Section 3:

This Ordinance is adopted as an emergency ordinance, pursuant to Section 4.11 of the City Charter, and shall be effective November 1, 2002 and apply to all currently permitted and active construction projects within the City of Aspen thereafter.

#### Section 4:

This Ordinance shall not affect any existing litigation and shall not operate as an abatement of any action or proceeding now pending under or by virtue of the ordinances repealed or amended as herein provided, and the same shall be conducted and concluded under such prior ordinances.

#### Section 5:

If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held invalid or unconstitutional in a court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision and shall not affect the validity of the remaining portions thereof.

#### Section 6:

A public hearing on the Ordinance shall be held on the 15<sup>th</sup> day of October, 2002, at 5:00 p.m. in the City Council Chambers, Aspen City Hall, Aspen Colorado, fifteen (15) days prior to which hearing a public notice of the same was published in a newspaper of general circulation within the City of Aspen.

Ordinance No. 35, Series of 2002

Page 3



INTRODUCED, READ AND ORDERED PUBLISHED as provided by law, by the City Council of the City of Aspen on the  $23^{rd}$  day of September , 2002.

Attest:

Ordinance No. 35, Series of 2002 Page 4



# CITY OF ASPEN CONSTRUCTION STAGING AREA, PARKING AND EMERGENCY VEHICLE ACCESS MANAGEMENT PLAN

The City of Aspen requires submission of a job site plan describing the construction staging area(s), location and number of construction-related vehicles, and ensuring proper emergency vehicle access. The construction project shall be issued street parking permits for the expected duration of the project for a fee. These plans are required for all residential construction or remodeling of 1,500 square feet, or more, for any construction or remodeling involving multi-family buildings (three or more units), or for any construction or remodeling involving commercial buildings. (Aspen Municipal Code Section 24.16.240)

Construction Site Address: _300-312 E	Hyman Avenue								
Contact Name:Brad Hribar	Date:Jan 08, 2019								
Contractor:CENTAUR	Phone Number: _312-714-8519								
Provide one copy of a job site plan show	ving the following information:								
<ol> <li>Location for all job site related vehicles, including number and location of requested street parking spaces and/or vehicle permits.</li> <li>Location for materials storage, construction equipment and any other staging issues.</li> <li>Emergency access route allowing emergency vehicle access to the structure(s).</li> </ol>									
REC	QUESTED:								
Other parking areas:Loading Zone Begin Date:April 2019  All construction staging and construction parking plan for the job site. Workers shall be encourage	Street Parking Spaces:14  Completion Date:Fall 2020  Ig shall be confined to the areas defined in an approved ed to carpool. Emergency access, as described in the e blocked. A stop work order may be issued upon non-								
compliance.									
Construction related vehicles are excluded fro residential zones. Construction vehicles will only	<b>TENTION:</b> In the signed <b>2-hour Free Parking</b> areas in Aspen's be considered in compliance if parked in the designated it. All other vehicles will be considered in violation.								
	FICE USE ONLY  ays = Fee Exp. Date								
Street Parking Spacesx Rate	x Days = Fee Exp. Date								
Approved	Date								

Please call 920-7482 with questions regarding this from



# CITY OF ASPEN CONSTRUCTION STAGING AREA, PARKING AND EMERGENCY VEHICLE ACCESS MANAGEMENT PLAN

The City of Aspen requires submission of a job site plan describing the construction staging area(s), location and number of construction-related vehicles, and ensuring proper emergency vehicle access. The construction project shall be issued street parking permits for the expected duration of the project for a fee. These plans are required for all residential construction or remodeling of 1,500 square feet, or more, for any construction or remodeling involving multi-family buildings (three or more units), or for any construction or remodeling involving commercial buildings. (Aspen Municipal Code Section 24.16.240)

Construction Site Address: _300-31	2 E Hyman Avenue
Contact Name:Brad Hribar	Date:Jan 08, 2019
Contractor:CENTAUR	Phone Number: _312-714-8519
Provide one copy of a job site plan	showing the following information:
requested street parking spa 2. Location for materials stora staging issues.	ted vehicles, including number and location of aces and/or vehicle permits. ge, construction equipment and any other wing emergency vehicle access to the
	REQUESTED:
Vehicle Permits:N/A Other parking areas:Loading Z Begin Date:April 2019	Street Parking Spaces:19 Zone Completion Date:Fall 2020
plan for the job site. Workers shall be enco	arking shall be confined to the areas defined in an approved buraged to carpool. Emergency access, as described in the me be blocked. A stop work order may be issued upon non-
Construction related vehicles are excluded residential zones. Construction vehicles will	ATTENTION: If from the signed 2-hour Free Parking areas in Aspen's lonly be considered in compliance if parked in the designated permit. All other vehicles will be considered in violation.
	OFFICE USE ONLY _ x Days = Fee Exp. Date
Street Parking Spacesx Rate	x Days = Fee Exp. Date
Approved	Date

Please call 920-7482 with questions regarding this from



#### 5.4 Staging Areas

There will be minimal staging on the project as the project is managed as an On-Time Delivery method project. All subcontractors and suppliers will deliver materials on a daily or weekly basis as required. Mobile cranes and electric tower cranes will be utilized during the construction process. All deliveries will be scheduled with Site Superintendent in advance and coordinated to minimize impact to surrounding community. Site staging areas will be located along the South side of the site during the "On / All Season" and utilize both West and South elevations during the "Off Season" within the CICZ. or as allowed.

Estimated truckloads to and from the site: Mobilization, Demo, Earth Retention, Excavation, Utilities = 1735 Concrete = 412 MEP, Windows, Roof, Finishes = 550

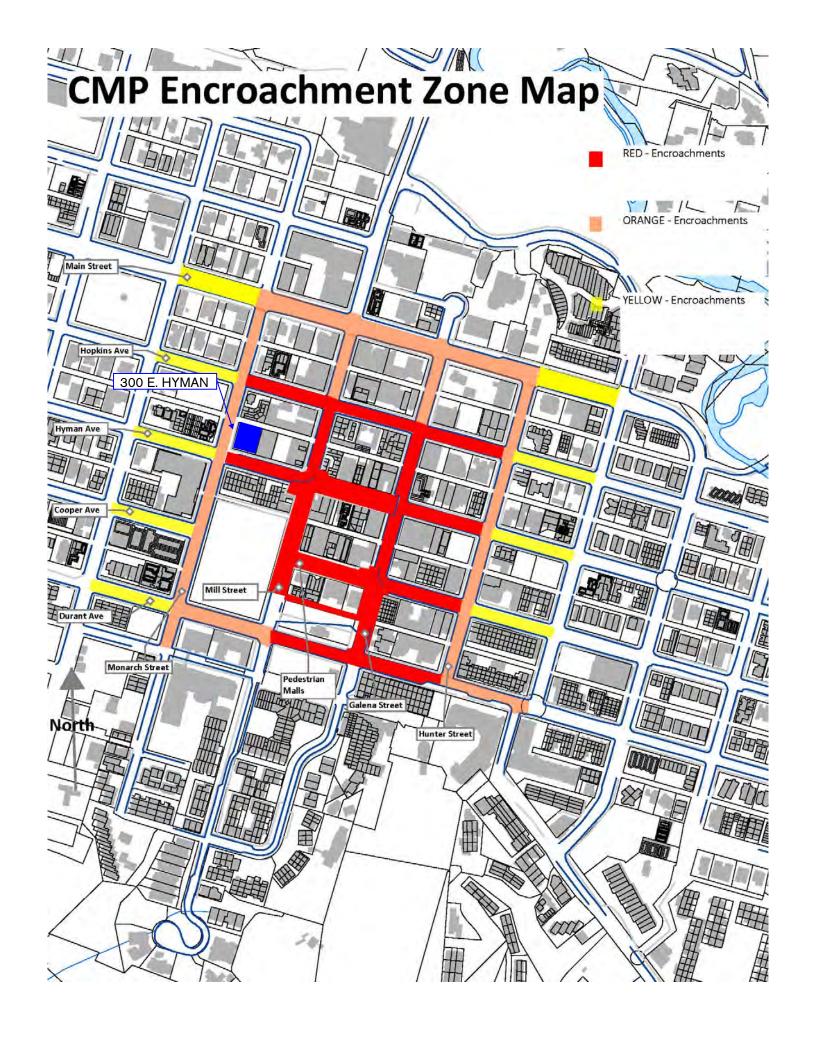
Reference the attached Site Logistics Plan in Section 5 for specific information and detailing.

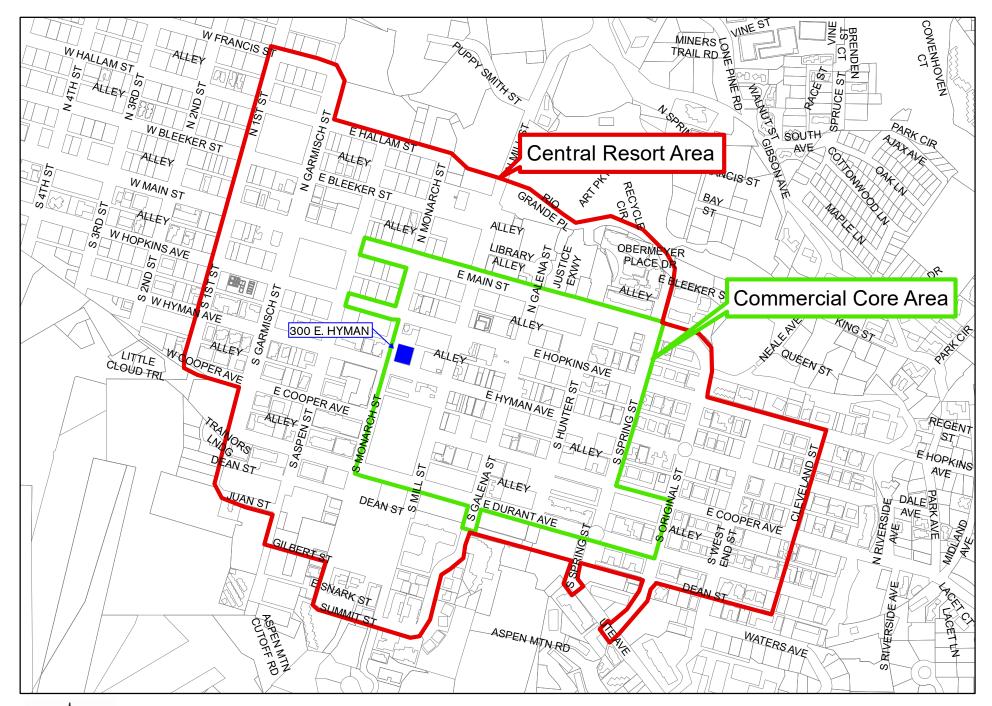
#### 5.5 Right of Way Limitations

Limitations for Encroachment Zones: There are seasonal limitations for temporary encroachments (Refer to Encroachment Zone Map, Central Resort Area and Commercial Core Area Map). These limitations include the following:

- Red Zone: Five foot encroachment allowed on the mall during the on season. For areas abutting a street, a 15 foot encroachment will be allowed during the on season. For corner lots, only one side of the building will be permitted an encroachment during the on season. Sites will be limited to one on season encroachment.
- Orange Zone: A fifteen foot encroachment will be allowed during the on season. For corner lots, only one side of the building will be permitted an encroachment during the on season. Sites will be limited to two on season encroachments.
- Yellow Zone: A fifteen foot encroachment will be allowed during the on season. For corner lots, only one side of the building will be permitted an encroachment during the on season. Sites will be limited to three on season encroachments.
- The City may allow for larger encroachments if the site can demonstrate the benefits of doing so.;

On Season Times Frame: On seasons are defined as June 1st thru Labor Day and November 15th thru March 31st.









#### Site Plan, Demo, ER, Crane and Waste Management 5.6

Project material storage, portable restrooms, site office, waste management and recycling containers will be located within the construction impact containment zone (CICZ) in proximity to the West most gate for minimal-impact servicing. These units will be located within City ROW as the development occupies the full lot at grade level.

Materials, both conventional and construction related will be recycled on site in accordance with City of Aspen Municipal Code 26.575.060 and as follows:

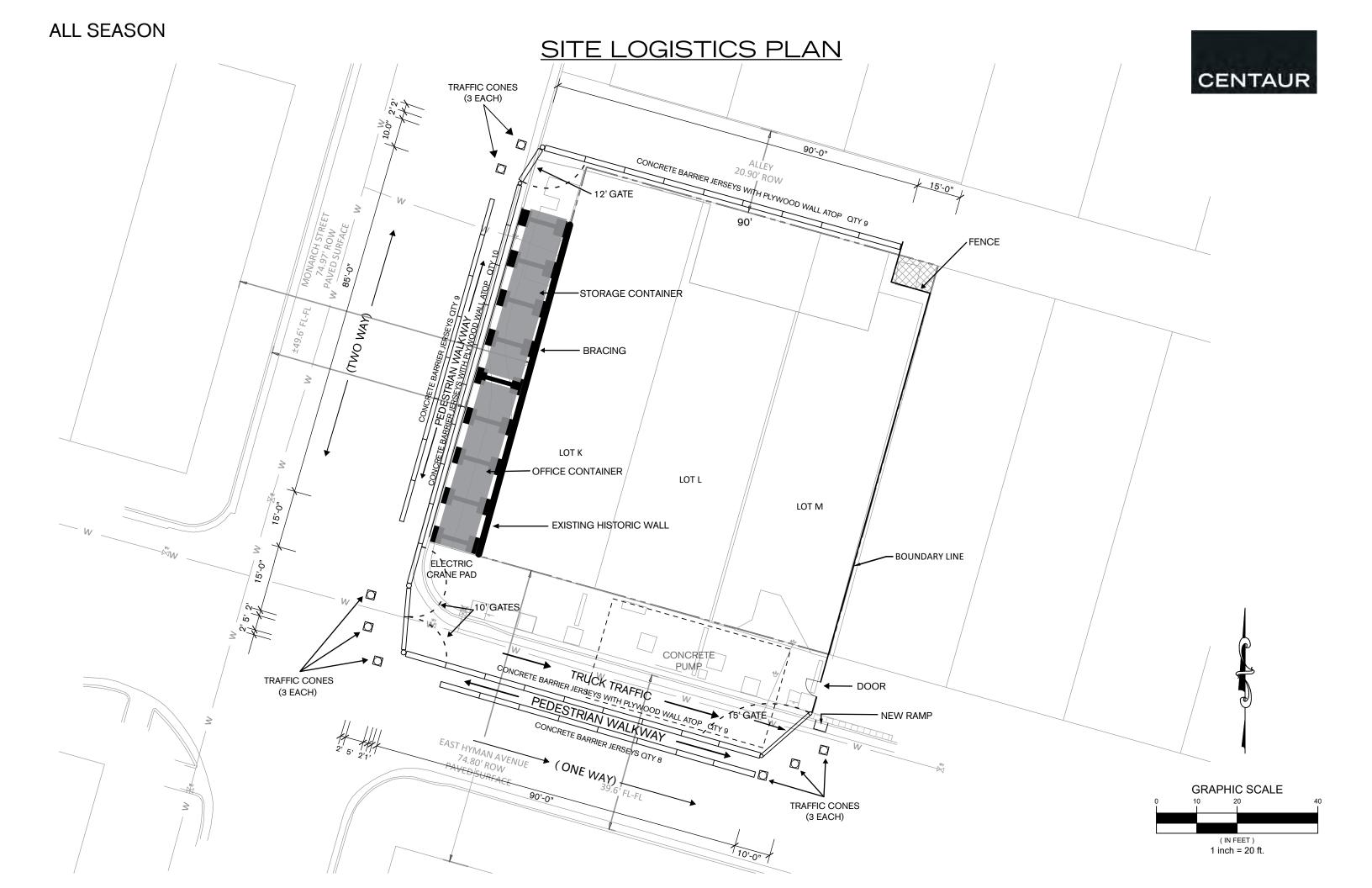
Project site conventional recycling of co-mingled materials (plastics #1-#7, tin, aluminum, and glass) and cardboard will have an assigned area and be separated on-site during the project. These materials will not be disposed of in the trash.

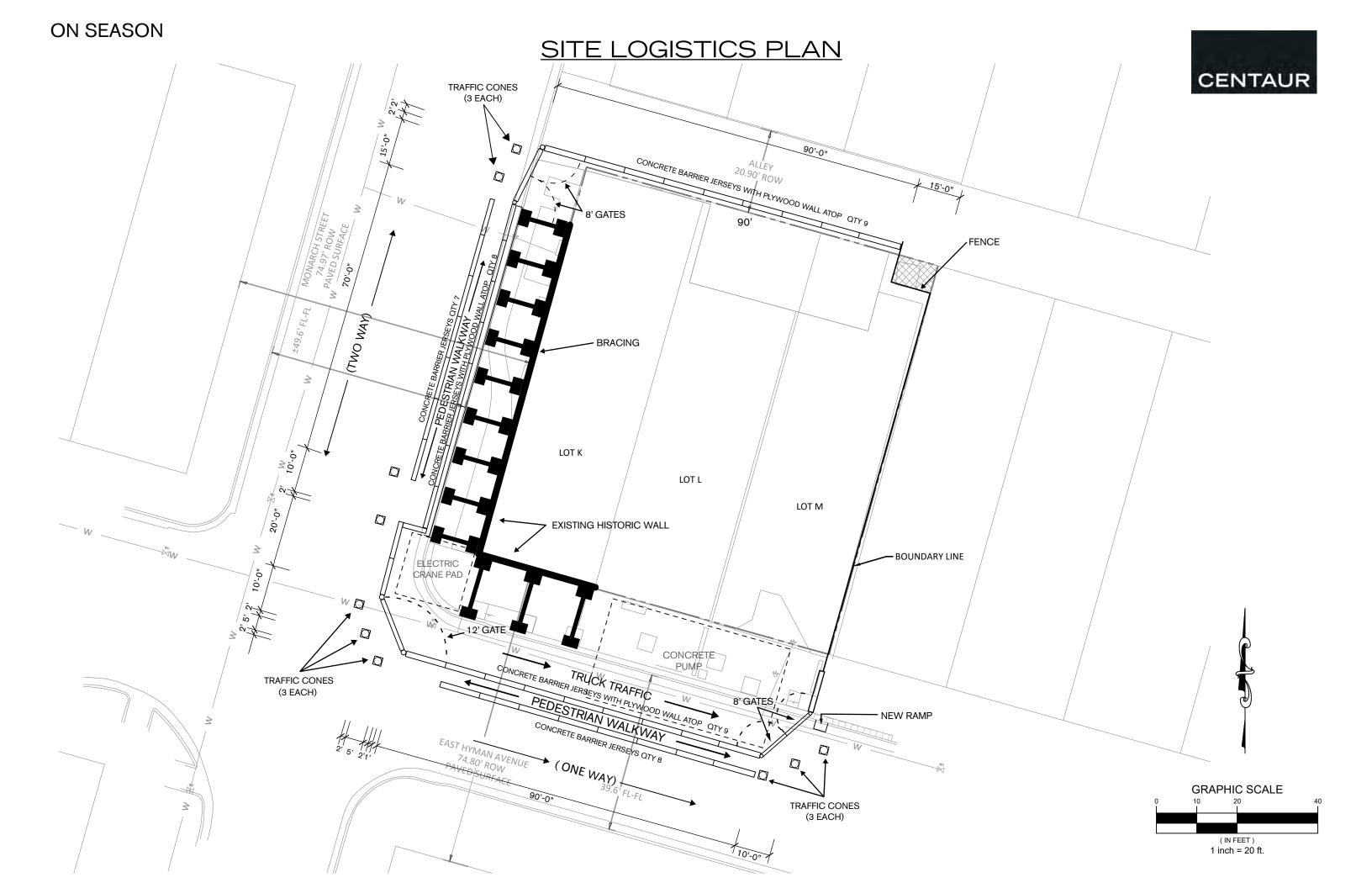
During Demolition, recycling and/or salvaging will occur. Concrete and scrap metals will be sorted and kept onsite in an assigned area or off-site verification records will be maintained and be made available to the City of Aspen as deemed appropriate.

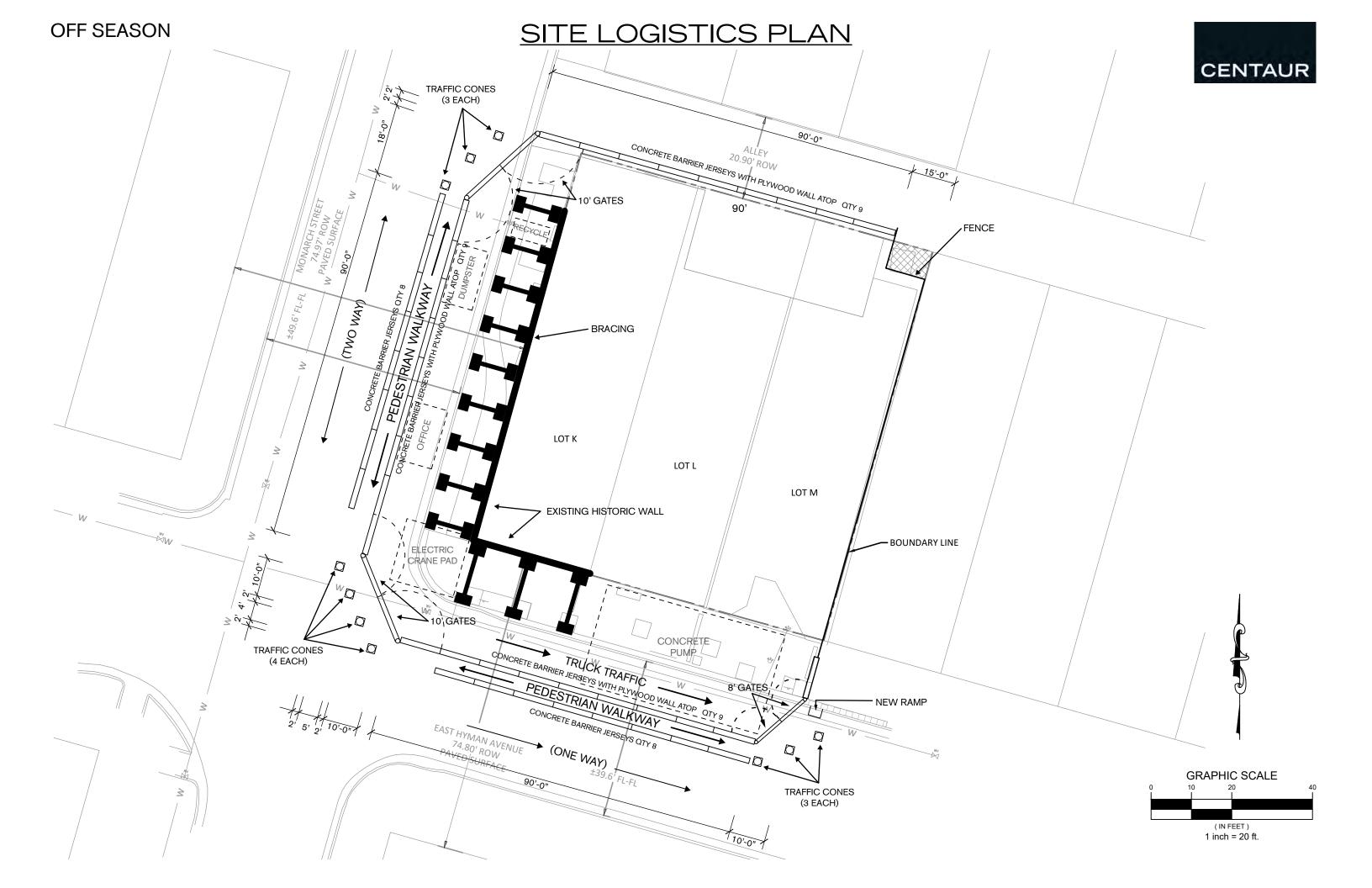
All trash receptacle containers that is used for food refuse on-site will be constructed in such a manner as to render it bear-proof. All containers will be adequately covered at all times until transferred to the landfill. Accumulated debris, litter, and/or trash will be contained so as not to blow or scatter onto adjoining properties.

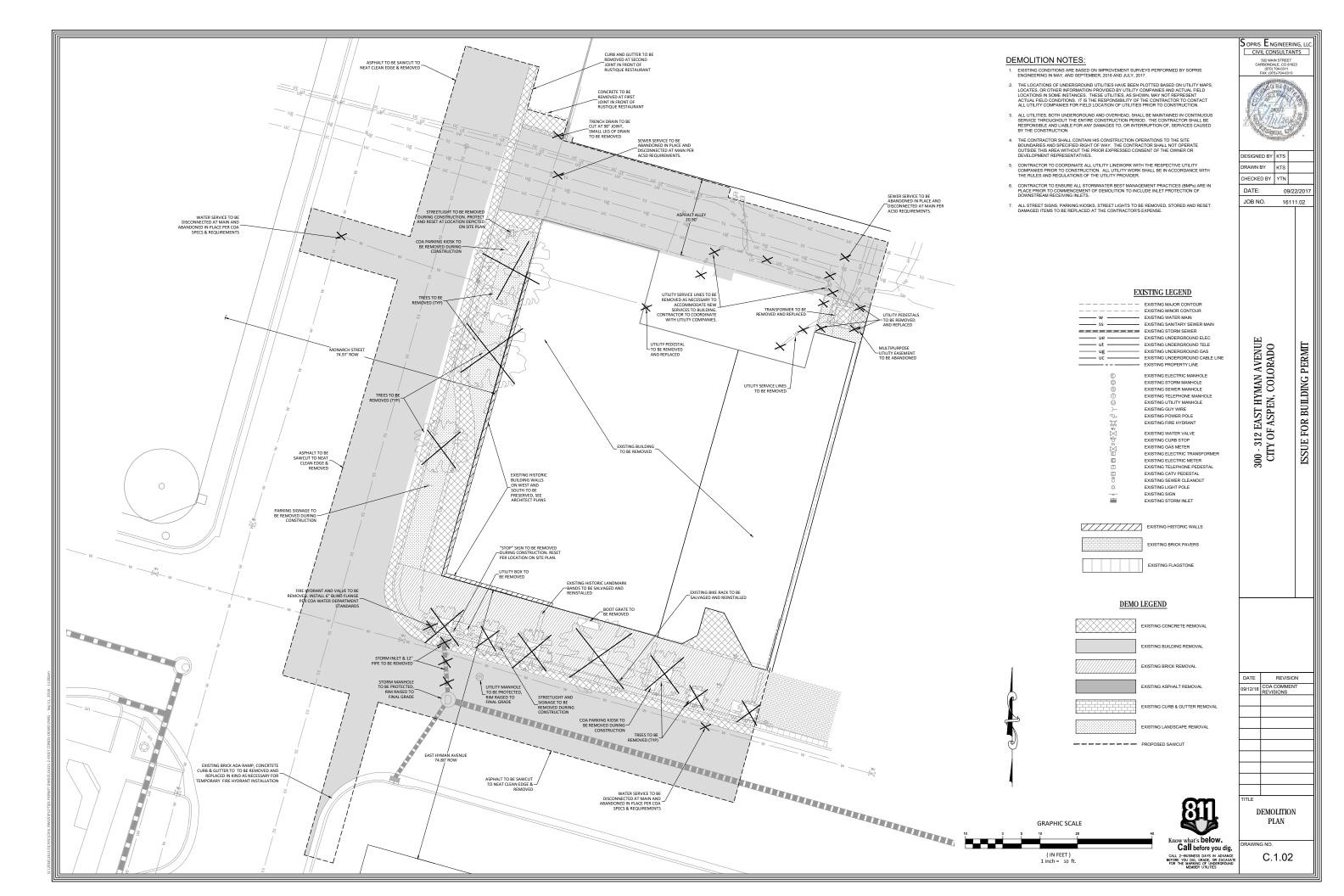
An onsite hazardous material spill cleanup kit, containing a 25 pound bag of Floor-Dri (or equal), absorbent pads, and other spill kit materials will be kept onsite at all times.

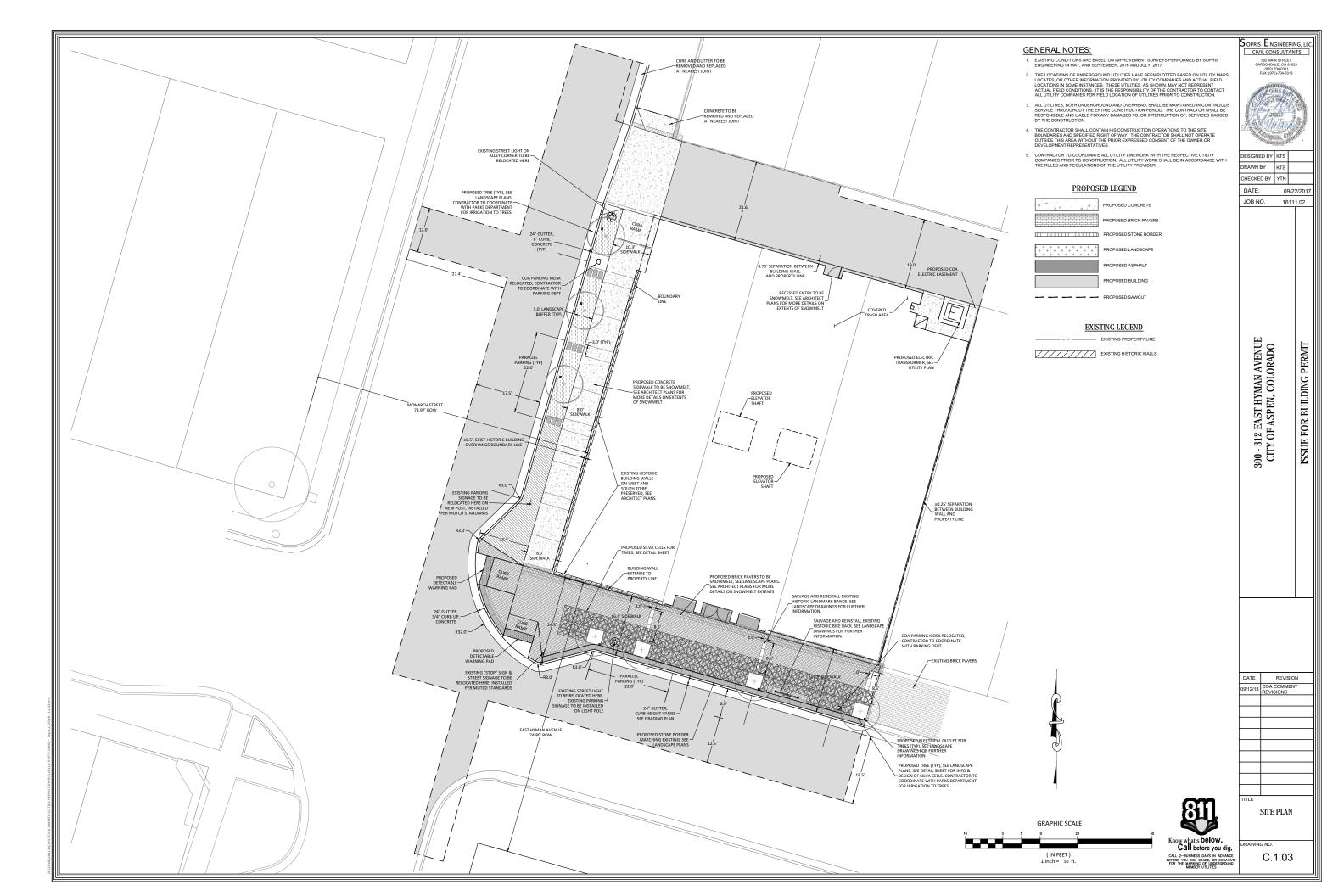
Reference the attached Site Plan, Demolition Plan, Earth Retention Plan, Crane and Waste Management Plan for specific information and detailing. Renderings of the before mentioned are located in Section 7 for easy viewing.











# 300 - 312 EAST HYMAN RESIDENCE ASPEN, COLORADO TEMPORARY EARTH RETENTION SYSTEM





1 OF 5 - COVE

2 OF 5 - PLAN VIEW

3 OF 5 - FLEVATION VIE

4 OF 5 - SECTIONS AND DETAIL

5 OF 5 - RPACING PLAN AND DETAIL



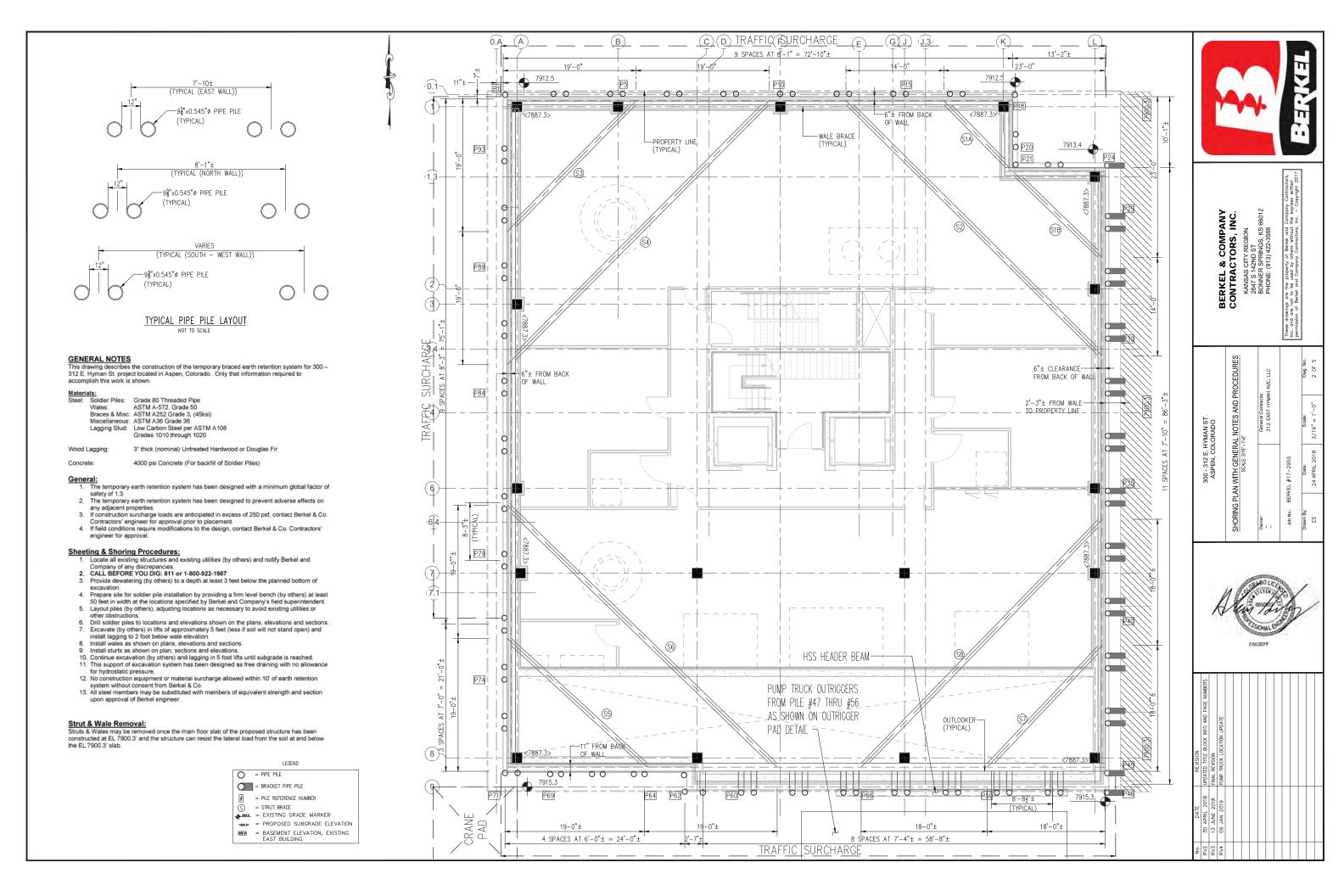
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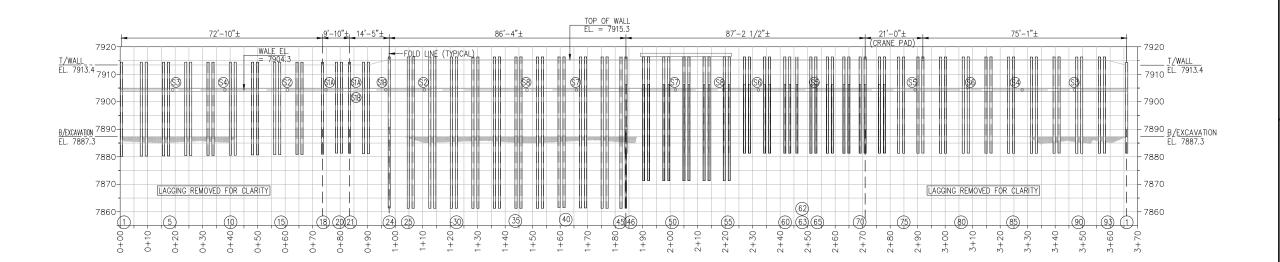
ANDSA OLI Y REGIN 2647 S 142UD ST BONNER SPRINGS, PHONE: (913) 422-35

		F = 0
	r: .N AVE, LLC	Dwg. No.:
~1	General Contractor: 312 EAST HYMAN AVE, LLC	Scale: AS NOTED
COVER		Job No.: BERKEL #17—295S rawn By: Date: ES 24 APRIL 2018
	Owner:	Job No.: BER Drawn By: ES



REVISION	UPDATED TITLE BLOCK INFO AND PAGE NUMB	FINAL REVISION	PUMP TRUCK LOCATION UPDATE						
DATE	30 APRIL 2018	13 JUNE 2018	09 JAN 2019						
No.	RV2	RV3	RV4						





									(	Casing Secti	ons
Soldier Pile Number	No. of Soldier Piles	Pipe Pile Size (GR 80)	pile Length (If)	**Top of Pile** EL (MSL)	Top of Lagging EL (MSL)		Strut/Wale Elevation (MSL)	Wale Size (GR50)	Starter Pipe (ft)	Itermedia sections (ft)	**Top Section** (ft)
1 to 23	23	9.625"Ø X0.545"	35	7913.5	7912.5	7887.3	7904.3	W30x173	10	10	5
24 to 45	22	9.625"Ø X0.545"	55	7916.3	7915.3	7887.3	7904.3	W30x108	10	10	5
46	1	9.625"Ø X0.545"	55	7916.3	7915.3	7887.3	7904.3	W30x108	10	10	5
47 to 56	10	9.625"Ø X0.545"	45	7916.3	7915.3	7887.3	7904.3	W30x173	10	10	5
57 to 76	20	9.625"Ø X0.545"	45	7916.3	7915.3	7887.3	7904.3	W30x173	10	10	5
77 to 93	17	9.625"Ø X0.545"	35	7916.3	7914.8	7887.3	7904.3	W30x173	10	10	5

<sup>\*\*</sup> Top of pipe pile stick out 1 ft above ground EL\*\*

Strut No.	Strut Elevation (MSL)	Strut Size (GR42)
S1A and S1B	7904.3	16"Ø X0.5"
S2	7904.3	16"Ø X0.5"
S3	7904.3	16"Ø X0.5"
S4	7904.3	24"Ø X0.5"
<b>S</b> 5	7904.3	16"Ø X0.5"
S6	7904.3	24"Ø X0.5"
<b>S</b> 7	7904.3	16"Ø X0.5"
58	7904.3	20"Ø X0.5"



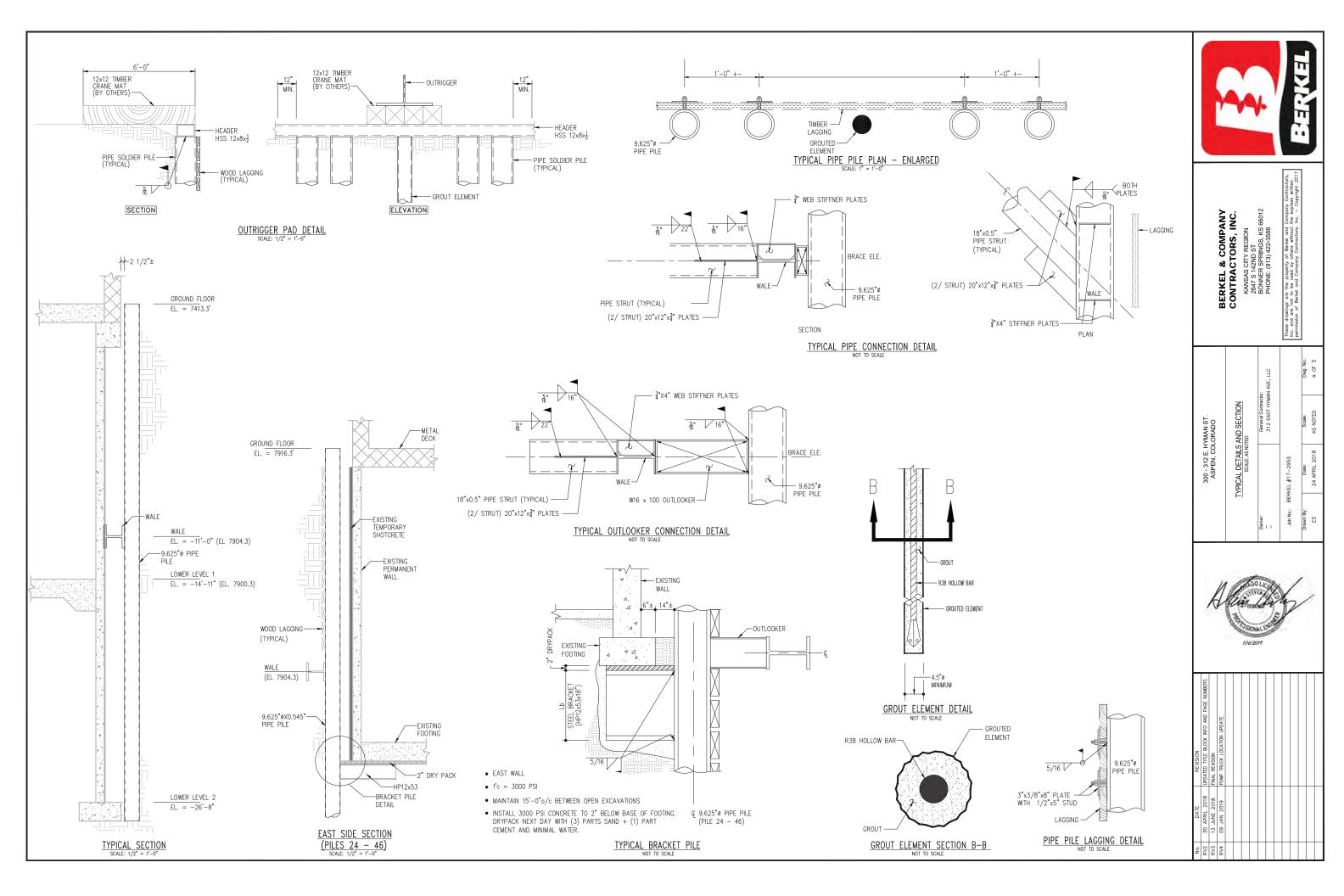
BERKEL & COMPANY CONTRACTORS, INC. KANSAS CITY REGION 2847 S 142ND ST BONNER SPRINGS, KS 66012 PHONE: (913) 422-3688

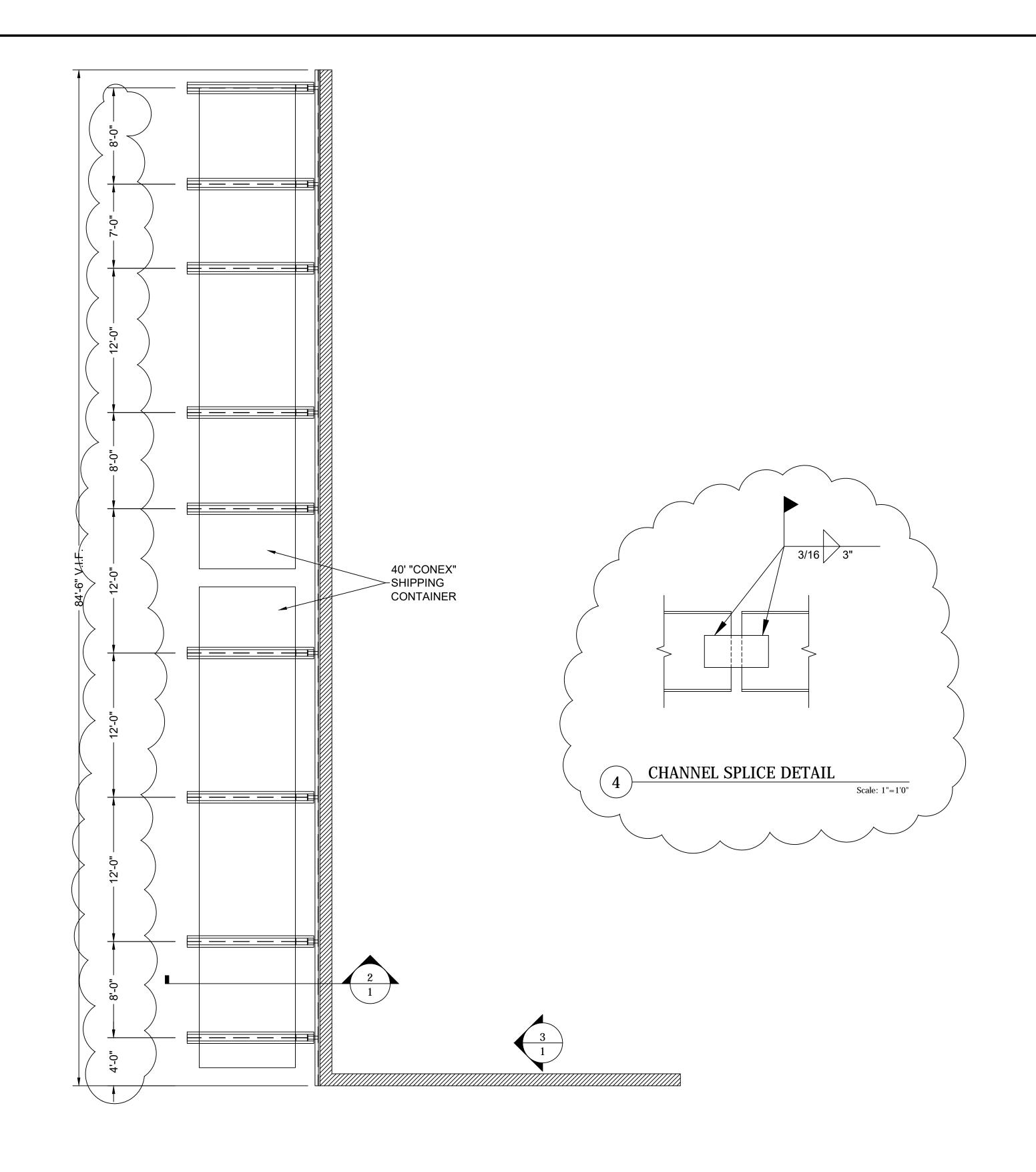
These drawings are the property of Berkel and Company Contractions, linc. and are not to be used by others without the express written permission of Berkel and Company Contractors, inc. - Copyright 2017

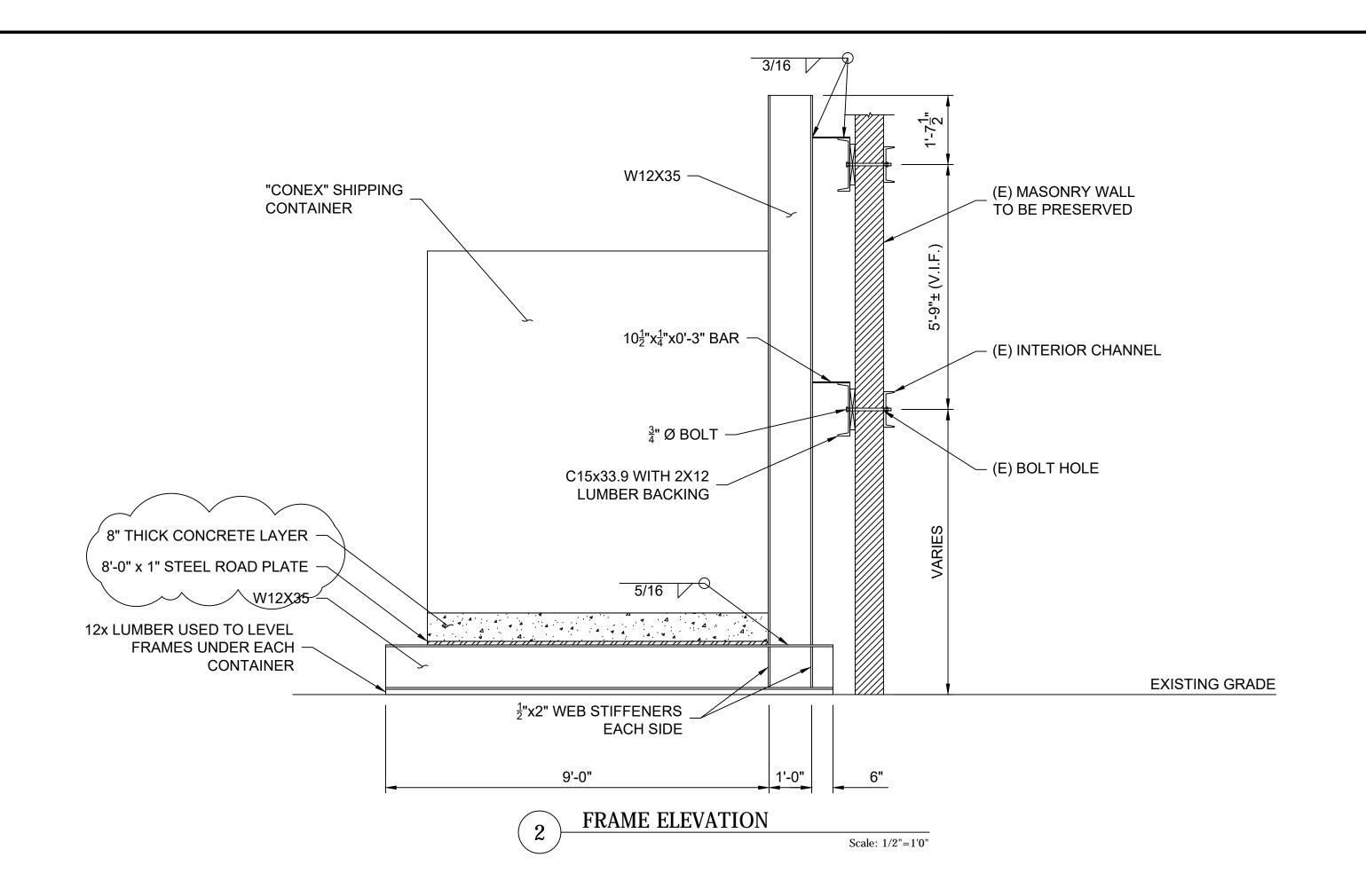
		: N AVE, LLC		Dwg. No.:	
YMAN ST. -ORADO	AND SCHEDULE	General Contractor: 312 EAST HYMAN AVE, LLC		Scale:	= (
300 - 312 E. HYMAN ST. ASPEN, COLORADO	ELEVATION VIEW AND SCHEDULE SCALE: AS NOTED		BERKEL #17-295S	Date:	
		Owner:	Job No.: BE	Drawn By:	í

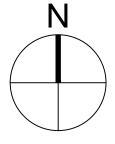


UPDATED TITLE BLOCK INFO AND PAGE NUMBERS	FINAL REVISION	PUMP TRUCK LOCATION UPDATE						
30 APRIL 2018	13 JUNE 2018	09 JAN 2019						
RV2	RV3	RV4						











Scale: 3/16"=1'0"

# **GENERAL NOTES**

These drawings describe the construction of frames to support the west wall at 300 E Hyman Ave. in Aspen, CO. Only that information required to accomplish this work is shown.

Plates, Bars, Channels: Welds: Bolts:

ASTM A992 Gr. 50 W Sections: ASTM A36 Gr. 36 E70XX Electrodes ASTM A325

## **PLAN NOTES**

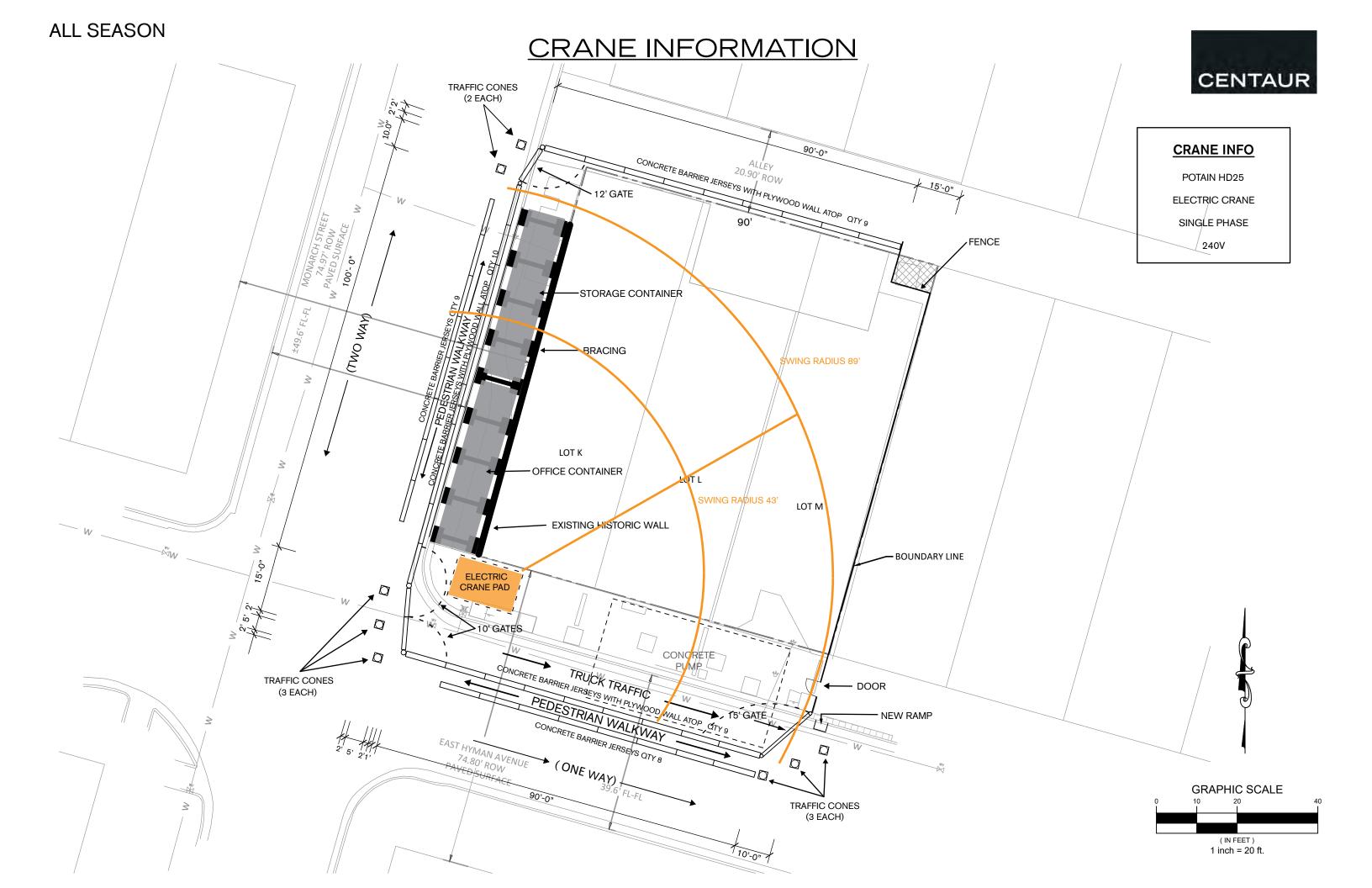
- 1. Frames are intended to be in-line with existing bolt holes that run through the masonry wall. 2. Frames may be spaced across multiple existing bolt holes, but may not be spaced more than
- 3. Shorter shipping containers may be substituted at Berkel's discretion. However, the total
- linear feet of shipping containers must be greater than or equal to 80'-0". 4. Each individual shipping container must be level. However, the elevations of adjacent containers need not match.

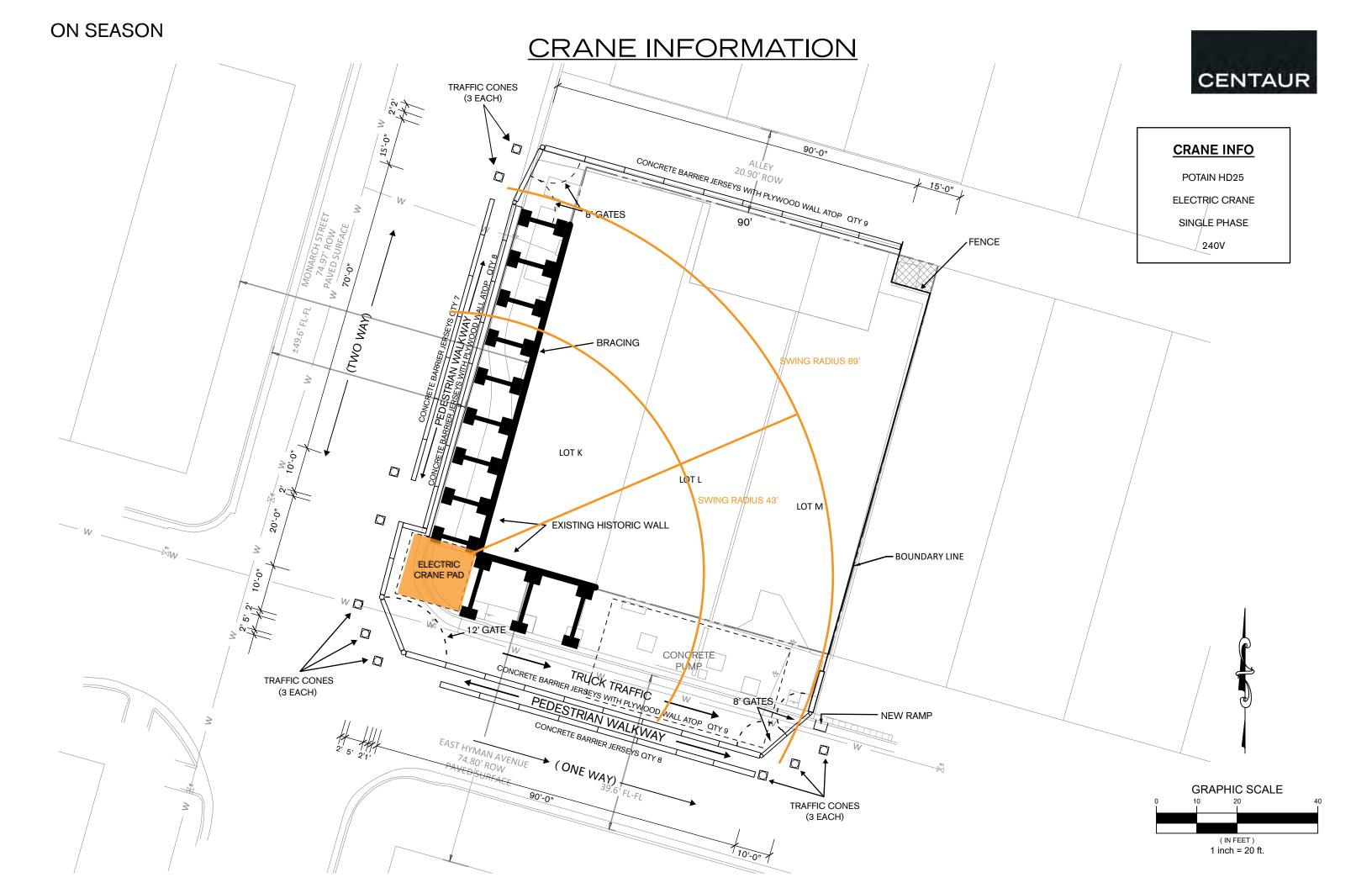
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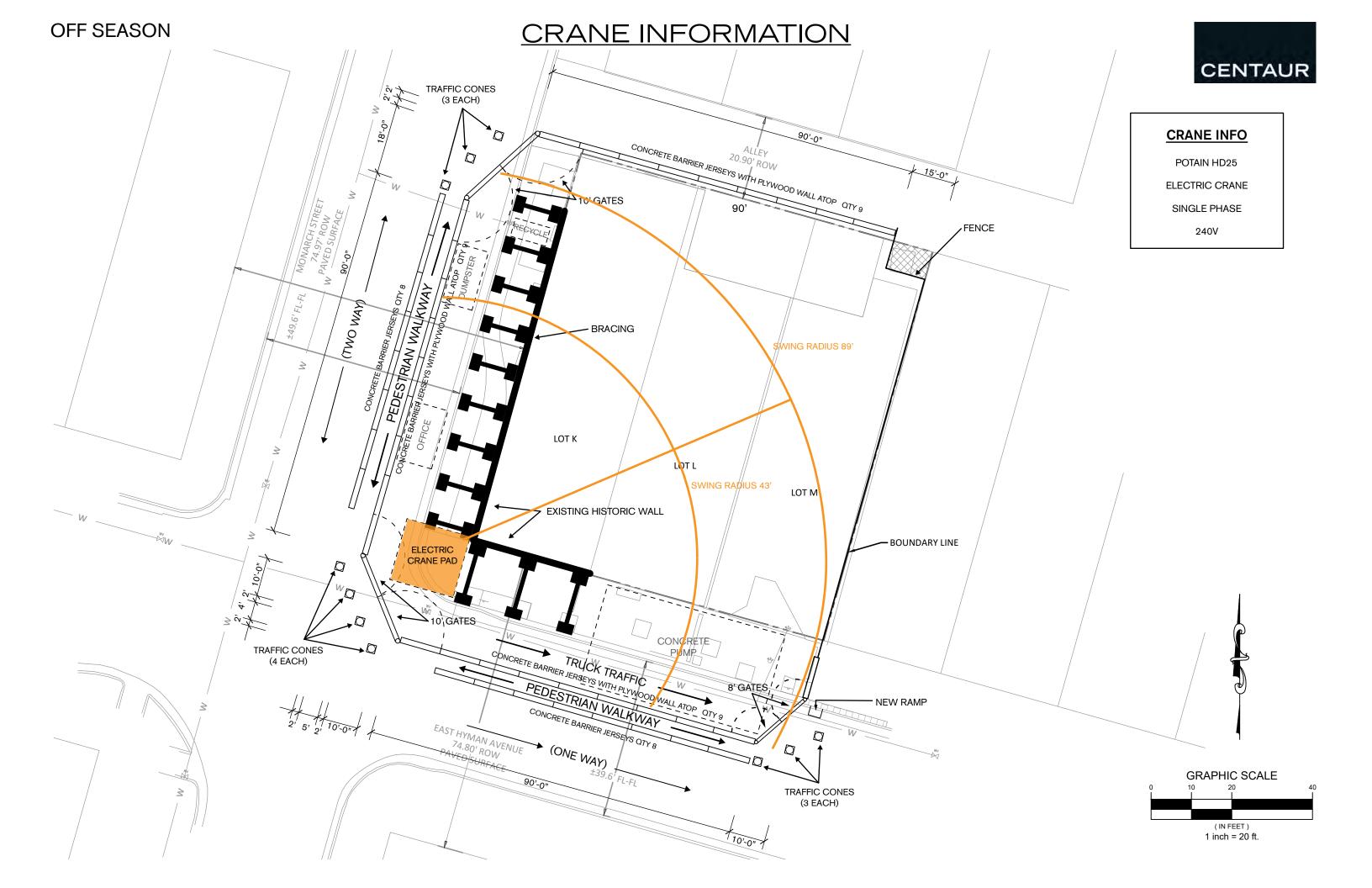
o. DA	TE	REVISION	
04/1	6/19	ISSUED FOR REVIEW	N
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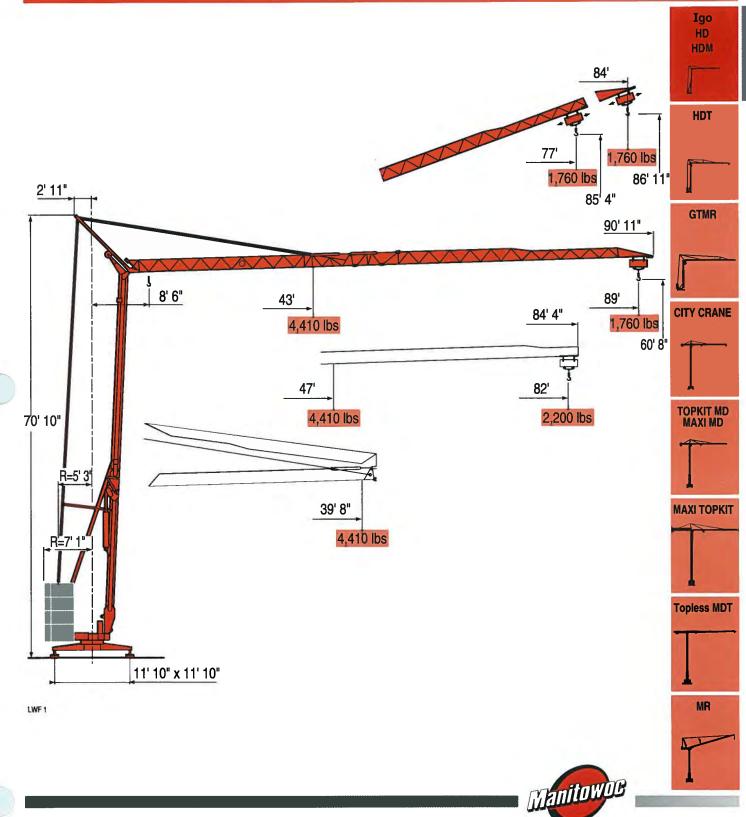
300 E HYMAN AVE.  ASPEN, CO										
WEST WALL TEMP. BRACING DETAILS										
	BERKEL & COMPANY CONTRACTORS, INC	_	- (913) 422-3588 r Springs, KS 66012							
	Owner:		General Contract –	tor:						
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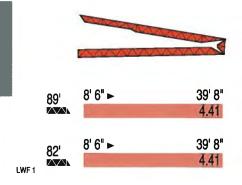


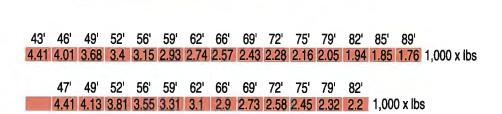
# HD 25



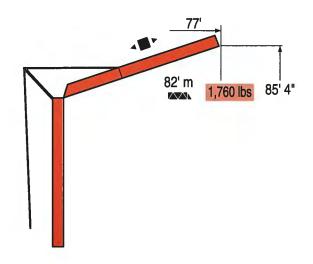
Manitowoc Crane Group
POTAIN ?

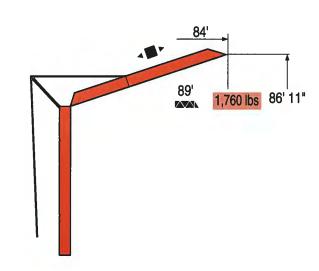
## **Load diagrams**





## Luffing jib





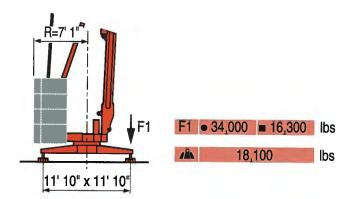
45

LWF 1

Traversing trolley



## Reactions



LWF 1

Reactions in service

Reactions out of service

Without load, ballast (or transport axles), with maximum jib and maximum height.

## **Mechanisms**

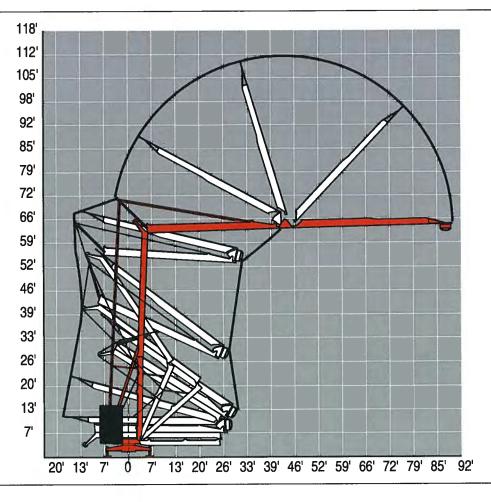
			<u>.</u> .	-	<b>&gt;</b>	ch - PS hp	kW
	9 PC 10	fpm	26	79	157		
•	37010	lbs	4,410	4,410	2,200	9.8	7.2
	9 LVF 10	fpm	13	66	131	10.0	
		lbs	4,410	4,410	2,200	10.3	7.5
<b>◄</b> ■►	2 D2 V4	fpm		71 - 142		2.4	1.8
•	RVF 30	rpm		0 → 0.9		1.5	1.1

kVA
14.4 kVA



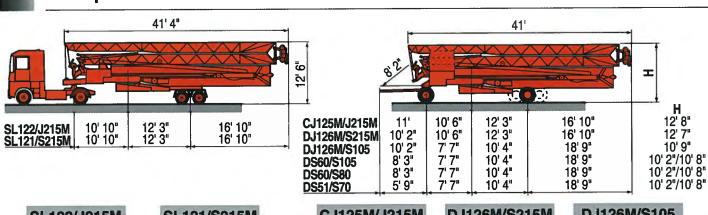


## **Erection**



LWF 1

## **Transport**



SL122/J215M

SL121/S215M

CJ125M/J215M

DJ126M/S215M

DJ126M/S105

DS60/S105

DS60/S80

DS51/S70 O

LWF 1

0

Site



Manitowoc Crane Group

POTAIN ?

1101-HD25-BR-US-E-5000



© 2001 MANITOWOC CRANE

#### **HD 25**

Manitowoc Boom Trucks 3000 South Austin Avenue P.O. Box 1609 Georgetown, TX, USA 78627-1609 Telephone 512-942-3000 Facsimile 512-863-3776 www.manitowocbt.com









## PIG® Spill Kit in Large Mobile Container

#KIT259 - Absorbs up to 37 gal. • 8" Rubber Wheels • Not UN Rated



Geared for response on rough floors or pavement with extras including PIG Lite-Dri Loose Absorbent and smooth-rolling wheels.

- Lightweight, 100% polyethylene container resists chemicals and keeps contents clean and dry
- · Heavy-duty 8" rubber wheels roll easily over nearly any surface
- Equipped with PIG Lite-Dri and PIG Dri Loose Absorbents along with PIG Blue Absorbent Socks, Mat and Pillows for spill response on rough surfaces
- Prepacked container provides easy access to contents
- Built-in handles allow easy steering through tight spots
- · Large, color-coded label makes identification fast and accurate
- · Hinged lid provides easy access
- · Temporary disposal bags help make cleanup easier
- Tamperproof seal helps prevent pilfering of spill response supplies
- . Note: Not for outdoor storage
- Only PIG Spill Kits feature PIG Absorbents proven for rapid
- For information on custom spill kits, just call 1-800-HOT-HOGS (468-4647)

Always in stock. Ships within 24 hours.

#### Pricing (based on quantity)

1-2 3+ \$346.00 \$314.00



**New Pig** 

By Phone: 1-800-HOT-HOGS

Online: newpig.com

Email: hothogs@newpig.com

One Pork Avenue • Tipton PA 16684-0304 © 2013 New Pig Corporation, All rights reserved. PIG and the PIG logo are trademarks in the U.S. and other countries. ITEM: KIT259 - Pg 1 of 3



### KIT259 Specifications

Fluids Absorbed: Oils, Coolants, Solvents & Water

Up to 37 gal. Absorbency: Spill Volume: 30 - 49 gal.

Lift-out Basket: Na Outdoor Storage: No UN Rated: No **UV Resistant:** No Wheels: 8" Rubber Sold as: 1 each Weight: 107 lbs. # per Pallet: 2

Composition: Container - High-Density Polyethylene

Mats - Polypropylene

Socks - Polypropylene & Magnesium

Aluminosilicate

Pillows - Polypropylene & Cellulosic Fibers

Shop Dri® - Earthen Materials

LITE-DRI® - Cellulose

50 - PIG® Universal Mat Pads (MAT231) Includes:

4 - 48" PIG® BLUE Absorbent Socks (4048)

1 - 10' PIG® BLUE Absorbent Sock (PIG202)

2 - PIG® Pillows (PIL201)

2 - PIG® LITE-DRI® Absorbent (PLP201)

1 - PIG® DRI Loose Absorbent (PLP213-1)

6 - Tamperproof Labels (LBL100)

5 - Temporary Disposal Bags and Ties

(BAG201-L) 1 - Instructions 1 - Container (CAN479)

#### **Technical Information**

Warnings & Restrictions:

There are no known warnings and restrictions for this product.

Regulations and Compliance: 40 CFR 122.26 - When applying for a National Pollutant Discharge Elimination System (NPDES) permit, facilities must have a plan in place that describes actions, procedures, control techniques, management practices and equipment available to prevent illegal discharge of pollutants into waterways.

40 CFR 112.7 - SPCC planning requirements state that facilities subject to these regulations must have written plans in place discussing the products, countermeasures and procedures that are in place, or will be taken by the facility to prevent discharge of oil into waters of the United States.

**Technical Documents:** 

(Available at newpig.com) Product Data Sheet (PDS) Material Safety Data Sheet (MSDS) Chemical Compatibility (CCG)



#### KIT259 Metric Equivalent

Up to 140 L Absorbency: Weight: 48.5 kg



By Phone: 1-800-HOT-HOGS

Online: newpig.com

Email: hothogs@newpig.com

**New Pig** 

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PIG and the PIG logo are trademarks in the U.S. and other countries. ITEM: KIT259 - Pg 2 of 3



Page 1 of 2

## Construction Management Plan



## 🕫 Safety Data Sheet

LITE-DRI® Absorbent (MSD-006)

#### 1. Product And Company Identification

Product Identifier: LITE-DRI® Absorbent

General Use: LITE-DRI® Absorbent is a non-selective loose absorbent cellulose designed to absorb and contain oils and non-aggressive fluids. The "clay alternative"

Product Description: Soft organic particles that create an

absorbent pellet product. COMPANY PROFILE:

New Pig Corporation One Pork Avenue Tipton, PA 16684-0304 Information Number

EMERGENCY TELEPHONE: INFOTRAC 200 North Palmetto Street Leesburg, FL 34748 24 hrs, 7 days/week 1-800-535-5053

1-800-468-4647 Website: www.newpig.com, Email: hothogs@newpig.com

#### 2. Hazards Identification

#### POTENTIAL HEALTH EFFECTS:

Eye Contact: May cause irritation. Ingestion: No effect, if a small quantity.

Inhalation: Breathing of dust may aggravate acute or chronic

asthma and other pulmonary diseases.

Skin Contact: May cause irritation in people with existing skin

Chronic: Not applicable

#### 3. Composition/Information on Ingredients

Components	<u>wt. %</u>	CAS Registry#
Cellulose Fiber	>99	9004-34-6
Mineral Oil	<1	8042-47-5

#### 4. First Aid Measures

Eye Contact: Flush with water for 15 minutes. Ingestion: Ingestion of small quantities is not considered harmful, however, if discomfort occurs, seek medical attention. Inhalation: Remove to fresh air if breathing difficulties occur.

Skin Contact: Wash with soap and water.

#### 5. Fire Fighting Measures

Extinguishing Media: Unused form: water. Used form: that which is compatible to liquid(s) absorbed.

Special Fire Fighting Procedures: Unused form: None required. <u>Used form</u>: refer to absorbed liquid(s) MSDS(s). Hazardous Combustion Products: May include carbon monoxide and carbon dioxide

Unusual Hazards: This material can burn if strongly heated. Refer to absorbed liquid(s) MSDS(s). LITE-DRI® Absorbent does not render liquids nonflammable, neutral or less hazardous.

#### 6. Accidental Release Measures

Spill or Leak Procedures: If material is unused, sweep up and place in suitable disposal container for disposal. If sweeping, dampen with water spray to avoid creating dust.

#### 7. Handling and Storage

Handling Precautions: None. Normal procedures for storing

Storage Precautions: Store at room temperature. Shelf Life: Indefinitely - as long as product is kept in a clean, dry place away from direct sunlight.

General: LITE-DRI® Absorbent does not render liquids nonflammable, neutral or less hazardous. The container can be hazardous when empty. Follow label cautions even after the container is empty. Do not re-use empty containers for food, clothing or products for human or animal consumption, or where skin contact can occur.

#### 8. Exposure Controls/Personal Protection

Engineering Controls: Provide general and/or local exhaust ventilation to keep concentrations below PEL/TLV.

#### PERSONAL PROTECTION

Eyes: Safety glasses with side shields is a good industrial

Respirator: Use NIOSH/MSHA approved dust respirator if material is used in unventilated area, or if dust concentrations exceed specified exposure limits.

Gloves: Should be worn by persons with existing skin lesions. Other: None required

#### OSHA HAZARDOUS COMPONENTS (29 CFR 1910.1200): EXPOSURE LIMITS 8 hrs. TWA (ppm)

OSHA PEL **ACGIH TLV** 

Cellulose - Total 15 mg/m<sup>3</sup> 10 mg/m<sup>3</sup> Cellulose - Respirable 5 mg/m

N.E. = Not established

Revised Date: 03/05/2012



Page 2 of 2

## Construction Management Plan



LITE-DRI® Absorbent (MSD-006)

9. Physical and Chemical Properties

Appearance: Light grey cellulose pellets

Odor: None Odor Threshold: Not applicable

pH: 6-8

Melting Point/Freezing Point: Not applicable Initial Boiling Point and Range: Not applicable

Flash Point: 370°F (188°C) minimum Method: Open cup

Evaporation Rate: Not applicable Flammable Limits: Not established Conditions of Flammability: Not established Explosive Properties: Not established Vapor Pressure: Approximately zero Vapor Density: Not applicable Relative Density ( $H_20 = 1$ ): 0.86 Bulk Density: 13-20 lbs/ft<sup>3</sup> Solubility in Water: <0.1%

Auto-ignition Temperature: Not established Coefficient of Water/Oil Distribution: Not available

Moisture Range: 9-11%

10. Stability and Reactivity

General: This is a stable material.

Conditions of Reactivity: Elevated temperatures

Incompatible Materials: Acids, bases and strong oxidizers; e.g., hydrogen peroxide, bromide, chromic acid (no hazardous reactions are expected under normal industrial use) Conditions to Avoid: Open flame. Mixing with incompatible

materials.

Hazardous Decomposition: Nitrous oxides, ammonia, sulfur

Hazardous Polymerization: Will not occur

11. Toxicological Information

LD50: Not available LC50: Not applicable

Carcinogenicity: IARC: Not established

National Toxicology Program: Not established

OSHA: Not established

California Prop 65: No listed ingredient.

Reproduction Toxicity: Not available Teratogenicity: Not available Mutagenicity: Not available

Synergistic Products: Not available

Irritancy of Product: May cause eye and skin irritation.

Sensitization to Product: Not available

12. Ecological Information

No data available

13. Disposal Considerations

Waste Disposal Method: If unused, no special precautions are necessary. Dispose of in accordance with federal, state and local regulations. In certain types of cleanup applications the nature of the material recovered will classify the resulting spent material as a hazardous component. In such instances the material should be disposed of via an approved hazardous waste disposal service and the appropriate manifesting

obtained.

14. Transport Information

DOT (Department of Transportation): Proper Shipping Name: Not regulated

Hazard Class: Not regulated

Identification Number: Not applicable

15. Regulatory Information

CERCLA (Comprehensive Environmental Response Compensation and Liability Act): No Reportable Quantity OSHA Hazard Communication Standard, 29 CFR 1910.1200:

Cellulose

SARA Title III (Superfund Amendments and Reauthorization

Act): No listed ingredient

TSCA (Toxic Substances Control Act): All ingredients are

16. Other Information

HMIS Hazard Ratings: none → extreme Reactivity - 0 PPE - Not applicable

Reason for Issue: Reviewed, added new logo. Changes to

Sections 3, 9, 10 and 16.

Prepared by: Dale Gatehouse, Entreprises Krenda Inc.

Approved by: Lisa Baxter, New Pig Corporation

Previous Date of Issue: 04/18/2011

Revised Date: 03/05/2012 MSDS Number: MSD-006

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Revised Date: 03/05/2012





## SAFETY DATA SHEET

Shop Dri® Floor Sweep (MSD-013)

#### 1. Product And Company Identification

Product Identifier: Shop Dri® Floor Sweep

General Use: Shop Dri® Floor Sweep is designed to entrap liquid spills by forming "clumps" which are easily removed and allows unused material to be reclaimed.

Product Description: Grey sand-like earthen material

**EMERGENCY TELEPHONE:** COMPANY PROFILE:

New Pig Corporation INFOTRAC One Pork Avenue 200 North Palmetto Street Leesburg, FL 34748 Tipton, PA 16684-0304 Information Number 24 hrs, 7 days/week 1-800-468-4647 1-800-535-5053

Website: www.newpig.com, Email: hothogs@newpig.com

#### 2. Hazards Identification

#### POTENTIAL HEALTH EFFECTS:

Eye Contact: Slight irritation to eyes.

Ingestion: No hazard in normal use of product

Inhalation: May cause respiratory discomfort in excessive

concentrations Skin Contact: Non-irritant. Chronic: Not established

#### 3. Composition/Information on Ingredients

Components	<u>wt. %</u>	CAS Registry #
Volcanic ash Hydro treated middle	≥98	1332-09-8 64742-46-7 &
distillate Cellulosic anti-packing	≤ 2	64742-48-9
agent	≤ 2	65996-61-4

#### 4. First Aid Measures

Eye Contact: Flush with water for 15 minutes

Ingestion: Not applicable

Inhalation: If signs of distress occur, remove to fresh air

Skin Contact: Not applicable

#### 5. Fire Fighting Measures

Extinguishing Media: Unused form: Not applicable Used form: that which is compatible to liquid(s) absorbed

Page 1 of 2 5. Fire Fighting Measures (Cont'd)

Special Fire Fighting Procedures: Not applicable Hazardous Combustion Products: Not established Unusual Hazards: Refer to absorbed liquid(s) MSDS(s). The Shop Dri® Floor Sweep does not render liquids nonflammable,

neutral or less hazardous

#### 6. Accidental Release Measures

Spill or Leak Procedures: Sweep, shovel or vacuum up spilled absorbent material for reclamation or disposal.

#### 7. Handling and Storage

Handling Precautions: Keep dry before use for maximum effectiveness. Seal container when not in use

Storage Precautions: None. Shelf Life: Unlimited when kept

General: Refer to absorbed liquid(s) MSDS(s). The Shop Dri® Floor Sweep <u>does not</u> render liquids nonflammable, neutral or less hazardous. The container can be hazardous when empty. Follow label cautions even after the container is empty. Do not re-use empty containers for food, clothing or products for human or animal consumption, or where skin contact can occur.

#### 8. Exposure Controls/Personal Protection

Engineering Controls: Provide general and/or local exhaust ventilation to keep concentrations below PEL/TLV.

PERSONAL PROTECTION

Eyes: Safety glasses with side shields is a good industrial

Respirator: Use NIOSH/MSHA approved dust respirator if material is used in unventilated area, or if dust concentrations

exceed specified exposure limits. Gloves: Not normally required. However, use of cloth, canvas

or leather gloves is a good industrial practice

Other: Normally not required, however special conditions could warrant additional protection.

OSHA HAZARDOUS COMPONENTS (29 CFR 1910.1200): EXPOSURE LIMITS 8 hrs. TWA (ppm) OSHA PEL ACGIH ŤĽV

10 mg/m<sup>3</sup> Volcanic ash

15 mg/m³ (total) 5 mg/m³ (respirable)

5 mg/m³ (TWA) 10 mg/m³ (STEL) Oil mist 5 mg/m<sup>3</sup>

Revised Date: 08/17/2011





#### SAFETY DATA SHEET

Shop Dri® Floor Sweep (MSD-013)

#### 9. Physical and Chemical Properties

Appearance: Light gray particulate

Odor: Trace hydrocarbon Odor Threshold: Not established

pH: 7.1 (10% slurry)

MELTING POINT/Freezing Point: 2025 °F (1107 °C) Initial Boiling Point and Range: Not applicable Flash Point: >200°F (>93°C) Method: Pensky-Martens

Evaporation Rate: Not applicable Flammable Limits: Not applicable

Conditions of Flammability: Not established Explosive Properties: Not applicable Vapor Pressure: Not applicable Vapor Density: Not applicable

Relative Density (H<sub>2</sub>0 = 1): 2.4 (bulk density 0.541 grams/ml)

Solubility in Water: Insoluble

Auto-ignition Temperature: Not established Coefficient of Water/Oil Distribution: Not available

#### 10. Stability and Reactivity

General: This is a stable material.

Conditions of Reactivity: Elevated temperatures >200°F

Incompatible Materials: Hydrofluoric acid (HF) Conditions to Avoid: Not applicable Hazardous Decomposition: None known Hazardous Polymerization: Will not occur

#### 11. Toxicological Information

LD50: Not available LC50: Not available

Carcinogenicity: IARC: Not established

National Toxicology Program: Not established

OSHA: Not established

California Prop 65: No listed ingredient

Reproduction Toxicity: Not available Teratogenicity: Not available Mutagenicity: Not available Synergistic Products: Not available Irritancy of Product: See Section 2. Sensitization to Product: Not available

#### 12. Ecological Information

No data available

Page 2 of 2 13. Disposal Considerations

Waste Disposal Method: If unused, dispose of in approved solid waste land fills, or incinerate in accordance with federal, state, and local regulations. In certain types of cleanup applications the nature of the material recovered will classify the resulting spent material as a hazardous component. In such instances the material should be disposed of via an approved hazardous waste disposal service and the appropriate manifesting obtained.

#### 14. Transport Information

DOT (Department of Transportation): Proper Shipping Name: Not regulated Hazard Class: Non-hazardous Identification Number: Not applicable

#### 15. Regulatory Information

CERCLA (Comprehensive Environmental Response Compensation and Liability Act): No Reportable Quantity OSHA Hazard Communication Standard, 29 CFR 1910.1200: Mineral dust

SARA Title III (Superfund Amendments and Reauthorization

Act): No listed ingredient

TSCA (Toxic Substances Control Act): All ingredients are

Other: Tested for the following pursuant to current EPA

standards (test data available on request): (TCLP) Toxic Characteristic Leachate Procedure (LRT) Liquid Release Test (50 psi) (PFT) Paint Filter Test (gravity) Reactivity test for total cyanide and sulfide

Bulk analysis for free silica or asbestos. (EPA/DOT) Classification: Non Hazardous

#### 16. Other Information

NFPA Hazard Ratings: Health - 2 none → extreme Fire - 1 Reactivity - 0

Reason for Issue: Reviewed, added and moved information in multiple sections in preparation for the new GHS format.

Changes to Sections 3, 8, 9, 10 and 16.

Prepared by: Dale Gatehouse, Entreprises Krenda Inc.

Approved by: Lisa Baxter, New Pig Corporation

Previous Date of Issue: 01/28/2010 Revised Date: 03/17/2011

MSDS Number: MSD-013

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Revised Date: 08/17/2011





Universal PIG® Absorbents (MSD-014)

1. Product And Company Identification

Product Identifier: Universal PIG® Absorbents

General Use: Universal PIG® Absorbents are designed to confine and absorb leaks, drips, over-spray and spills of a broad range of chemicals, which include oil, water, coolants and solvents

Specific Product Identifier: PIG®: Adhesive-Back Mat, Absorbent Mat, Wipes, Pads, Barrel Tops, Universal Mat, Valve Wrap, Rip-& Fit, 4-in-1, Poly-Back Mat, Dry Floor Mat, Elephant Mat, Pan, CHAT MAT®, Non-Biodegradable / Wringable Pillow & Sock, Polypro™ Wipers, BubbleZorb™ Anti-Fatigue Mat & Packing Material, FLAT Universal Sock, Leaktrapper Absorbent Pillow, Pads: Handy, Jumbo, Machine Bed, Mini &

Product Description: These grey and yellow absorbents come in a variety of shapes and sizes as mats, pads, rolls, wipes, socks, pillows and pulp. Pan & socks may contain a variety of colored absorbent material.

COMPANY PROFILE: EMERGENCY TELEPHONE:

New Pig Corporation One Pork Avenue INFOTRAC 200 North Palmetto Street Tipton, PA 16684-0304 Leesburg, FL 34748 Information Number 24 hrs, 7 days/week 1-800-468-4647 1-800-535-5053

Website: www.newpig.com, Email: hothogs@newpig.com

#### 2. Hazards Identification

#### **POTENTIAL HEALTH EFFECTS:**

Eye Contact: May cause irritation

Ingestion: No hazard in normal use of product Inhalation: No hazard in normal use of product

Skin Contact: Not applicable Chronic: Not applicable

#### 3. Composition/Information on Ingredients

#### Components <u>wt. %</u> CAS Registry #

Contains recycled material - Visit www.newpig.com for more information on recycled content.

Polypropylene Mat 9003-07-0 Grey or yellow pigment <0.3 Not available May contain one or more of the following:

Double Faced Acrylic Adhesive Strip Pan

High Density Polyethylene 9002-88-4 9002-86-2 Polypropylene Mesh or Film 9003-07-0

Polyester Yarn, Fleece or Mesh 25038-59-9 Polyethylene Film 9002-88-4 Ink

Agua Ammonia

1336-21-6 Dimethylethanolamine 1-1.5 108-01-0

#### Page 1 of 2 4. First Aid Measures

Eye Contact: Flush with water for 15 minutes. Consult a

physician

Ingestion: Not applicable Inhalation: Not applicable Skin Contact: Not applicable

#### 5. Fire Fighting Measures

Extinguishing Media: Unused form: Not applicable Used form: that which is compatible to liquid(s) absorbed Special Fire Fighting Procedures: Wear a self-contained breathing apparatus and refer to absorbed liquid(s) MSDS(s). Hazardous Combustion Products: When heated above the melting point: carbon monoxide, carbon dioxide, acrolein, ketones, aldehydes and other unidentified organic compounds. Unusual Hazards: Refer to absorbed liquid(s) MSDS(s). The Universal PIG® Absorbents do not render liquids nonflammable, neutral or less hazardous.

#### 6. Accidental Release Measures

Spill or Leak Procedures: If material is unused, sweep or pick up and dispose of as a non-hazardous material.

#### 7. Handling and Storage

Handling Precautions: None

Storage Precautions: Store in a cool, dry place. Shelf Life: Indefinitely - as long as product is kept in a clean, dry place

away from direct sunlight.

General: Refer to absorbed liquid(s) MSDS(s). The Universal PIG® Absorbents do not render liquids nonflammable, neutral or less hazardous. The container can be hazardous when empty. Follow label cautions even after the container is empty. Do not re-use empty containers for food, clothing or products for human or animal consumption, or where skin contact can occur.

#### 8. Exposure Controls/Personal Protection

Engineering Controls: None required PERSONAL PROTECTION

Eyes: Safety glasses with side shields is a good industrial

Respirator: Not required.

Gloves: Not normally required. However, use of cloth, canvas

or leather gloves is a good industrial practice.

Other: None required.

#### OSHA HAZARDOUS COMPONENTS (29 CFR 1910.1200):

EXPOSURE LIMITS 8 hrs. TWA (ppm) OSHA PEL ACGIH ŤĽV

None

Revised Date: 03/06/2012



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## Construction Management Plan



Universal **PIG**® Absorbents (MSD-014) 9. Physical and Chemical Properties

12. Ecological Information

13. Disposal Considerations

Waste Disposal Method: If unused, no special precautions are necessary. Dispose of in accordance with federal, state and local regulations. In certain types of cleanup applications the nature of the material recovered will classify the resulting spent material as a hazardous component. In such instances the material should be disposed of via an approved hazardous waste disposal service and the appropriate manifesting obtained.

### 14. Transport Information

DOT (Department of Transportation): Proper Shipping Name: Not regulated Hazard Class: Not regulated Identification Number: Not applicable

### 15. Regulatory Information

CERCLA (Comprehensive Environmental Response Compensation and Liability Act): No Reportable Quantity OSHA Hazard Communication Standard, 29 CFR 1910.1200: No listed ingredient SARA Title III (Superfund Amendments and Reauthorization

Act): No listed ingredient

TSCA (Toxic Substances Control Act): Ingredients of this product are on the Inventory list.

### 16. Other Information

NFPA Hazard Ratings: Health - 0 none → extreme Reactivity - 0

Reason for Issue: Reviewed, added new logo. Changes to

Sections 1, 9 and 16.

MSDS Number: MSD-014

Prepared by: Dale Gatehouse, Entreprises Krenda Inc. Approved by: Lisa Baxter, New Pig Corporation

Previous Date of Issue: 06/30/2011 Revised Date: 03/06/2012

No data available

Appearance: Solid, available in a variety of grey and yellow shapes, some inside a black pan. May contain a variety of colored absorbent material. Odor Threshold: Not applicable Odor: No odor

pH: Not applicable

MELTING POINT/Freezing Point: >320° F (>160° C) Initial Boiling Point and Range: Not applicable Flash Point: Not applicable Method: Not applicable

Evaporation Rate: Not applicable Flammable Limits: Not applicable

Conditions of Flammability: Not established Explosive Properties: Not applicable Vapor Pressure: Not applicable

Vapor Density: Not applicable Relative Density ( $H_20 = 1$ ): 0.9 Solubility in Water: Insoluble

Auto Ignition Temperature: >675° F (>357° C) Coefficient of Water/Oil Distribution: Not available

### 10. Stability and Reactivity

General: This is a stable material. Conditions of Reactivity: Not established

Incompatible Materials: Strong oxidizing agents may degrade

product over an extended period of time. Conditions to Avoid: Not applicable

Hazardous Decomposition: When heated, it may emit toxic

Hazardous Polymerization: Will not occur

### 11. Toxicological Information

LD50: Not available LC50: Not available

Carcinogenicity: IARC: Not established

National Toxicology Program: Not established OSHA: Not established California Prop 65: No listed ingredient

Reproduction Toxicity: Not available Teratogenicity: Not available Mutagenicity: Not available Synergistic Products: Not available

Irritancy of Product: See Section 2. Sensitization to Product: Not available

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> > Revised Date: 03/06/2012



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## Construction Management Plan



BLUE PIG® Sock Absorbents (MSD-029)

### 1. Product And Company Identification

Product Identifier: BLUE PIG® Sock Absorbents General Use: BLUE PIG® Sock Absorbents are highly flexible absorbent socks, primarily designed for confining and absorbing leaks and spills around machinery, drums, etc. They will absorb both oil and water-based non-aggressive liquids.

Product Description: A flexible blue tubular sock filled with a non-biodegradable mineral.

Specific Product Identifiers: BLUE PIG® Sock, Rough Surface PIG® Absorbent Sock, PIG® Spill Control Sock.

COMPANY PROFILE: **EMERGENCY TELEPHONE:** 

New Pig Corporation **INFOTRAC** 

One Pork Avenue 200 North Palmetto Street Tipton, PA 16684-0304 Leesburg, FL 34748 Information Number 24 hrs, 7 days/week 1-800-535-5053 1-800-468-4647

Website: www.newpig.com, Email: hothogs@newpig.com

### 2. Hazards Identification

### POTENTIAL HEALTH EFFECTS:

Eye Contact: May cause minor physical or mechanical irritation. Ingestion: Not considered harmful.

Inhalation: If outer material is punctured, breathing of excessive airborne dust may cause symptoms typical of nuisance dusts, i.e. coughing, sneezing or minor upper respiratory irritation. Skin Contact: Not expected to cause any harmful effects. Chronic: Not applicable

### 3. Composition/Information on Ingredients

Components	<u>wt. %</u>	CAS Registry#
Outer Material		
Polypropylene	>99	9003-07-0
Polyester stitching	<1	25038-59-9
Aluminum clips		
Inner Material		
Magnesium Alumino-	100	1318-00-9
silicate (vermiculite-as	sbestos free)	
Ink		
Aqua Ammonia	<1	1336-21-6
Dimethylethanolamine	e <1	108-01-0

### 4. First Aid Measures

Eye Contact: Flush immediately with water for at least 15 minutes. If irritation, blinking or tearing occur and persist, consult a physician.

Ingestion: Not applicable

Inhalation: Remove to fresh air. If symptoms persist, consult a

physician.

Skin Contact: Not applicable

### 5. Fire Fighting Measures

Extinguishing Media: Unused form: water, chemical foam, dry chemical or carbon dioxide. (NOTE: inner material is nonflammable.) Used form: that which is compatible to liquid(s) absorbed.

Special Fire Fighting Procedures: Unused form: Not applicable. <u>Used form:</u> refer to absorbed liquid(s) MSDS(s). **Hazardous Combustion Products:** Not established. Unusual Hazards: Refer to absorbed liquid(s) MSDS(s). The PIG® Absorbent Sock <u>does not</u> render liquids nonflammable, neutral or less hazardous.

### 6. Accidental Release Measures

Spill or Leak Procedures: If material is unused, sweep or vacuum product and dispose of as a non-hazardous material. If sweeping, dampen with water spray to avoid creating dust.

### 7. Handling and Storage

Handling Precautions: Avoid puncturing or tearing outer material. Avoid creating dust.

Storage Precautions: Do not subject product to excessive heat. Shelf Life: Indefinitely - as long as product is kept in a clean, dry place away from direct sunlight.

General: Refer to absorbed liquid(s) MSDS(s). The PIG<sup>8</sup> Absorbent Sock does not render liquids nonflammable, neutral or less hazardous. The container can be hazardous when empty. Follow label cautions even after the container is empty. Do not re-use empty containers for food, clothing or products for human or animal consumption, or where skin contact can occur.

### 8. Exposure Controls/Personal Protection

Engineering Controls: Provide general and/or local exhaust ventilation to keep concentrations below PEL/TLV.

PERSONAL PROTECTION

Eyes: Safety goggles recommended

Respirator: Use NIOSH/MSHA approved dust respirator if material is used in unventilated area, or if dust concentrations exceed specified exposure limits.

Gloves: Not normally required. However, use of cloth, canvas

or leather gloves is a good industrial practice Other: None required

OSHA HAZARDOUS COMPONENTS (29 CFR 1910.1200): EXPOSURE LIMITS 8 hrs. TWA (ppm) ACGIH TLV OSHA PEL

Mineral nuisance dust:

Total 15 ma/m<sup>3</sup> 10 ma/m<sup>3</sup> Respirable 5 ma/m 3 mg/m

Revised Date: 03/06/2012



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## Construction Management Plan



BLUE PIG® Sock Absorbents (MSD-029)

### 9. Physical and Chemical Properties

Appearance: Free-flowing particles, brown to grey in color,

enclosed in a fabric sock. Odor: Earthy odor

Odor Threshold: Not available

pH: Not established

**MELTING POINT**/Freezing Point: 1830 - 2430° F (1000° - 1330° C) *Outer Material*: 302° – 338°F (150° – 170°C)

Initial Boiling Point and Range: Not applicable
Flash Point: Non-flammable Method: Not applicable

Evaporation Rate: Not applicable Flammable Limits: Not applicable

Conditions of Flammability: Not established Explosive Properties: Not established

Vapor Pressure: Not applicable Vapor Density: Not applicable

Relative Density (H2O = 1): 0.05 to 0.19

Solubility in Water: Negligible Auto-ignition Temperature: Not applicable Coefficient of Water/Oil Distribution: Not available

### 10. Stability and Reactivity

General: This is a stable material. Conditions of Reactivity: Not available

Incompatible Materials: Product may be affected by acids,

bases, and oxidizers. Conditions to Avoid: None.

Hazardous Decomposition: Will not occur

Hazardous Polymerization: Will not occur

### 11. Toxicological Information

LD50: Not available LC50: Not available

Carcinogenicity: IARC: Not established

National Toxicology Program: Not established

OSHA: Not established

California Prop 65: No listed ingredient

Reproduction Toxicity: Not available Teratogenicity: Not available Mutagenicity: Not available Synergistic Products: Not available Irritancy of Product: See Section 2. Sensitization to Product: Not available

### 12. Ecological Information

No data available

### 13. Disposal Considerations

Waste Disposal Method: If unused, no special precautions are necessary. Dispose of in accordance with federal, state and local regulations. In certain types of cleanup applications the nature of the material recovered will classify the resulting spent material as a hazardous component. In such instances the material should be disposed of via an approved hazardous waste disposal service and the appropriate manifesting

### 14. Transport Information

DOT (Department of Transportation): Proper Shipping Name: Not regulated Hazard Class: Not regulated Identification Number: Not applicable

### 15. Regulatory Information

CERCLA (Comprehensive Environmental Response Compensation and Liability Act): No Reportable Quantity OSHA Hazard Communication Standard, 29 CFR 1910,1200: Mineral nuisance dust

SARA Title III (Superfund Amendments and Reauthorization

Act): No listed ingredient

TSCA (Toxic Substances Control Act): All ingredients are

### 16. Other Information

NFPA Hazard Ratings: Health - 1 none  $\rightarrow$  extreme Fire - 0 Reactivity - 0

HMIS Hazard Ratings: Health -1 none → extreme Fire - 0 Reactivity - 0

Reason for Issue: Reviewed, added new logo. Change to

Section 16

Prepared by: Dale Gatehouse, Entreprises Krenda Inc. Approved by: Lisa Baxter, New Pig Corporation

Previous Date of Issue: 02/09/2011 Revised Date: 03/06/2012 MSDS Number: MSD-029

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Revised Date: 03/06/2012





## **Safety Data Sheet**

SUPER PIG® & PIG® Pillow Absorbents (MSD-041)

### 1. Product And Company Identification

Product Identifier: SUPER PIG® & PIG® Pillow Absorbents General Use: SUPER PIG® & PIG® Pillow Absorbents are designed to confine and absorb large amounts of oil and waterbased non-aggressive leaks and spills. They absorb liquids such as oils, water, coolants and solvents around machinery, drums,

Product Description: Gray tubular sock, rectangular/square pillow containing biodegradable cellulosic material. Specific Product Identifiers: SUPER PIG® Pillow in a Pan, SUPER PIG® Pillow, SUPER PIG® Drum Sock, SUPER PIG® Absorbent Sock, PIG® Pillow in a Pan, PIG® Pillow, and Swillow.

EMERGENCY TELEPHONE: COMPANY PROFILE: New Pig Corporation INFOTRAC One Pork Avenue

200 North Palmetto Street Leesburg, FL 34748 Tipton, PA 16684-0304 24 hrs, 7 days/week Information Number 1-800-468-4647 1-800-535-5053

Website: www.newpig.com, Email: hothogs@newpig.com

### 2. Hazards Identification

### POTENTIAL HEALTH EFFECTS:

Eye Contact: If outer material is punctured, direct eye contact may cause minor physical or mechanical irritation. Ingestion: No hazard in normal use of product Inhalation: If outer material is punctured, breathing of excessive airborne dust may cause symptoms typical of nuisance dusts such as coughing, sneezing or minor respiratory irritation. Skin Contact: Irritation may occur at high concentrations. If outer material is punctured and skin is wet, may cause irritation. Chronic: Not established

### 3. Composition/Information on Ingredients

Components	<u>wt. %</u>	CAS Registry#
Outer Material:		
Polypropylene	100	9003-07-0
Reinforced polyester stitchii	ng	25038-59-9
Inner Material:	-	
Cellulose Fiber	90-98	9004-34-6
Ammonium Polyphosphate	<4.0	68333-79-9
Ammonium Sulfate	<0.1	7783-20-2
May contain:		
Pan:		
High Density Polyethylene		9002-88-4
PVC		9002-86-2
Aluminum Clips		

### 4. First Aid Measures

Eye Contact: Flush with water for 15 minutes. If irritation persists, seek medical attention.

### Page 1 of 2

Ingestion: Not considered harmful in small quantities. If

discomfort occurs, seek medical attention. Inhalation: Remove to fresh air if excessive amounts of dust

Skin Contact: Wash with water to prevent irritation.

### 5. Fire Fighting Measures

4. First Aid Measures (Cont'd)

 $\begin{tabular}{ll} \textbf{Extinguishing Media:} $\underline{Unused form}$ standard ABC fire extinguisher. $\underline{Used form}$ that which is compatible to liquid(s) \\ \end{tabular}$ 

Special Fire Fighting Procedures: A self-contained breathing apparatus should be worn. Refer to absorbed liquid(s) MSDS(s). Hazardous Combustion Products: Incomplete burning can produce carbon monoxide and other harmful products. When heated, it may release ammonia gas (this material is a fire retardant).

Unusual Hazards: Refer to absorbed liquid(s) MSDS(s). May enhance flammability of petroleum based products in open

### 6. Accidental Release Measures

Spill or Leak Procedures: Small Spill: If material is unused, sweep up and flush down drain, or use. Large: Reclaim material for use

### 7. Handling and Storage

Handling Precautions: Avoid puncturing or tearing outer material. Avoid creating dust.

Storage Precautions: Store at room temperature. Shelf Life: Indefinitely - as long as product is kept in a clean, dry place away from direct sunlight.

**General:** Refer to absorbed liquid(s) MSDS(s). The SUPER PIG<sup>®</sup> & PIG<sup>®</sup> Pillow Absorbents <u>do not</u> render liquids nonflammable, neutral or less hazardous. The container can be hazardous when empty. Follow label cautions even after the container is empty. Do not re-use empty containers for food, clothing or products for human or animal consumption, or where skin contact can occur.

### 8. Exposure Controls/Personal Protection

Engineering Controls: Provide general and/or local exhaust ventilation to keep concentrations below PEL/TLV PERSONAL PROTECTION

Eyes: Safety glasses with side shields is a good industrial practice

Respirator: Use NIOSH/MSHA approved dust respirator if material is used in unventilated area, or if dust concentrations exceed specified exposure limits.

Gloves: Not normally required. However, when handling bulk, use of cloth, canvas or leather gloves is a good industrial practice

Other: None required

Revised Date: 04/16/2012



Page 2 of 2

## Construction Management Plan



## 💴 Safety Data Sheet

SUPER PIG® & PIG® Pillow Absorbents (MSD-041)

8. Exposure Controls/Personal Protection (Cont'd)

OSHA HAZARDOUS COMPONENTS (29 CFR 1910.1200):

EXPOSURE LIMITS 8 hrs. TWA (ppm) OSHA PEL ACGIH ŤĽV

Cellulose (Total) 15 mg/m<sup>3</sup> Cellulose (Respirable) 5 mg/m

\*\*In its present form, there is little or no dust to present an OSHA

N.E. = Not Established

9. Physical and Chemical Properties

Appearance: Ground up gray cellulose in pillow or sock, some inside a black pan

Odor: May have an ammonia-like or slight damp odor.

Odor Threshold: Not applicable

pH: Not applicable

MELTING POINT Freezing Point: Outer Material: 302° - 338°F

Initial Boiling Point and Range: Not applicable

Flash Point: Not available Method: Not applicable

Evaporation Rate: Not applicable Flammable Limits: Not established

Conditions of Flammability: Not established

Explosive Properties: Not applicable

Vapor Pressure: Inner Material: Negligible @ 68°F (20°C)

Vapor Density: Not applicable Relative Density (H<sub>2</sub>0 = 1): 0.86

Solubility in Water: Inner Material: Cellulose fibers are not

soluble. Fire retardant: Miscible Auto-ignition Temperature: >450° F (>232° C)

Coefficient of Water/Oil Distribution: Not available

10. Stability and Reactivity

General: This is a stable material.

Conditions of Reactivity: Not available Incompatible Materials: Strong oxidizing agents, acids and

Conditions to Avoid: None

Hazardous Decomposition: Ammonia. If heated above 500° F

(260 ° C): sulfur dioxide

Hazardous Polymerization: Will not occur

11. Toxicological Information

LD50: Not available for mixture

LC50: Not available

Carcinogenicity: IARC: Not established

National Toxicology Program: Not established OSHA: Not established

California Prop 65: No listed ingredient

Reproduction Toxicity: Not available

Teratogenicity: Not available Mutagenicity: Not available

11. Toxicological Information (Cont'd)

Synergistic Products: Not available Irritancy of Product: See Section 2 Sensitization to Product: Not available

Ammonium polyphosphate:

Ingestion: The oral LD50 for rats is > 2000 mg/kg.

Ammonium sulfate:

Ingestion: The oral LD50 for rats is 2840 mg/kg.

12. Ecological Information

No data available.

13. Disposal Considerations

Waste Disposal Method: If unused, no special precautions are necessary. This product is not subject to the 40 CFR Part 268.30 land ban on the disposal of certain hazardous wastes. Dispose of in accordance with federal, state and local regulations. In certain types of cleanup applications the nature of the material recovered will classify the resulting spent material as a hazardous component. In such instances the material should be disposed of via an approved hazardous waste disposal service and the appropriate manifesting obtained.

14. Transport Information

DOT (Department of Transportation): Proper Shipping Name: Not regulated

Hazard Class: Not regulated 15. Regulatory Information

Identification Number: Not applicable

CERCLA (Comprehensive Environmental Response Compensation and Liability Act): No Reportable Quantity OSHA Hazard Communication Standard, 29 CFR 1910.1200:

Cellulos

SARA Title III (Superfund Amendments and Reauthorization

Act): No listed ingredient

TSCA (Toxic Substances Control Act): All ingredients are

16. Other Information

NFPA Hazard Ratings: Health - 0 none → extreme Fire - 1

Reactivity - 0  $\rightarrow$ 

Reason for Issue: Reviewed, added new logo. Change to

Prepared by: Dale Gatehouse, Entreprises Krenda Inc.

Approved by: Lisa Baxter, New Pig Corporation

Previous Date of Issue: 07/06/2011

Revised Date: 04/16/2012 MSDS Number: MSD-041

The following is in lieu of all warranties, expressed or implied: All information provided is based on testing and data believed to be accurate. PIG® is a registered trademark of New Pig Corporation. All New Pig Corporation trademarks are protected by U.S. and International law.

Revised Date: 04/16/2012





Your partner for a clean and safe workplace.

1-800-HOT-HOGS® (468-4647)

### Chemical Compatibility Guide for:

PIG® Universal Mat Pads, Pulp, Rolls and Tablets (Gray)

PIG® CHAT MAT® and Chat Sock® Absorbents

PIG® High-Visibility Pads and Rolls (Yellow)

PIG® TRAFFIC MAT® Pads and Rugs

PIG® Universal 4 IN 1® Mat (Gray)

PIG® Universal HAM-O® Pads, Pillows, Rolls, Socks and Tablets

PIG® Well Pad Liner

### NOTICE:

This report is offered as a guide and was developed from information which, to the best of New Pig Corporation's knowledge, was reliable and accurate. Due to variables and conditions of application beyond New Pig Corporation's control, none of the data shown in this guide is to be construed as a guarantee, expressed, or implied. New Pig Corporation assumes no responsibility, obligation, or liability in conjunction with the use or misuse of the information.

Note: HAM-O® Products, Chat Mat® and Chat Sock® Absorbents are not recommended for use with some solvents or corrosive liquids that may affect the printed pattern. If this is an issue, please test the absorbent prior to use.

ATTENTION: Independent testing indicates that PIG® Universal Mat products are compatible with and absorb many acids and bases. Due to variables and conditions beyond our control, New Pig cannot guarantee that this product will absorb to your satisfaction.

To ensure effectiveness and your safety, we recommend that you conduct compatibility and absorption testing of your chemicals with PIG® Universal Mat products prior to purchase. If you have any questions or need samples to test, please call us toll free at 1-800-HOT-HOGS®.

Chemical	Chemical Class	5welling (0-2)	Visible Degradation (0-2)	Rating	
Acetone	Ketones	0	0	Good	
Acetonitrile	Nitriles	0	0	Good	
Aluminum Salts	Aluminum Compounds Hydroxylic	0	0	Good	
Ammonium Hydroxide	Inorganic Base	0	0	Good	
Barium Salts	Barium Compounds	0	0	Good	
Benzyl Alcohol	Hydroxyl Compounds	0	0	Good	
Bleach Solution	Inorganic Bases	0	0	Good	
Boric Acid	Inorganic Acids	0	0	Good	
Butanol	Hydroxyl Compounds	0	0	Good	
Calcium Chlorite	Calcium Compounds	0	0	Good	
Carbon Disulfide	Sulfur Compounds	0	0	Good	
Carbon Tetrachloride	Halogen Compounds	0	0	Good	
Chloroform	Halogen Compounds	0	0	Good	
Cupric Chloride	Copper Compounds	0	0	Good	
Cyclohexanone	Ketones	0	0	Good	
Dichloromethane	Halogen Compounds	0	0	Good	
Diethylamine	Amines	0	0	Good	
Dimethylformamide	Amides	0	0	Good	
Ethyl Acetate	Carboxylic Esters	0	0	Good	
Formaldehyde	Aldehydes	0	0	Good	
Gasoline	Aromatic Hydrocarbons	0	0	Good	
Glycol Ether	Ethers	0	0	Good	
Hexane	Aliphatic Hydrocarbons	0	0	Good	
Hydrochloric Acid (37%)	Inorganic Acids	0	0	Good	
Hydrogen Peroxide(30%)	Peroxides	0	0	Good	

Still have questions? In North America contact us:



By Phone: 1-800-HOT-HOGS® (468-4647)

Online: newpig.com Email

hothogs@newpig.com

One Pork Avenue • Tipton, PA 16684-0304

Last revised 3/14/12

243185



Chemical	Chemical Class	Swelling (0-2)	Visible Degradation (0-2)	Rating
Hydrofluoric Acid (48%)	Inorganic Acids	0	0	Good *
Isopropanol	Hydroxylic Compounds	0	0	Good
Jet Fuel (JP-5)	Hydrocarbons	0	0	Good
Kerosene	Hydrocarbons	0	0	Good
Methanol	Hydroxylic Compounds	0	0	Good
Methyl Ethyl Ketone	Ketones	0	0	Good
Mineral Oil	Alicyclic Hydrocarbons	0	0	Good
Mineral Spirits	Hydrocarbon	0	0	Good
Naphtha	Hydrocarbons	0	0	Good
Nitric Acid (70%)	Inorganic Acids	0	0	Good *
Nitrobenzene	Nitro Compounds	0	0	Good
Perchloroethylene	Halogen Compounds	0	0	Good
Phenol	Hydroxylic Compounds (Phenols)	0	0	Good
Potassium Hydroxide 50%	Inorganic Bases	0	0	Good *
Propylene Glycol	Hydroxylic Compounds	0	0	Good
Sodium Hydroxide (20%)	Inorganic Bases	0	0	Good *
Sodium Hydroxide (30%)	Inorganic Bases	0	0	Good *
Sodium Hydroxide (40%)	Inorganic Bases	0	0	Good *
Sodium Hydroxide (50%)	Inorganic Bases	0	0	Good *
Styrene	Aromatic Organic	0	0	Good
Sulfuric Acid (50%)	Inorganic Acids	0	0	Good *
Sulfuric Acid (98%)	Inorganic Acids	0	0	Good *
Tetrachloroethylene	Halogen Compounds	0	0	Good
Tetrahydrofuran	Ethers	0	0	Good
Thionyl Chloride	Chloride Compounds	Q	0	Good
Toluene	Aromatic Hydrocarbons	0	0	Good
1, 1, 1-Trichloroethane	Halogen Compounds	0	0	Good
Trichloroethylene	Halogen Compounds	0	0	Good
Triethylamine	Amines	0	0	Good
Turpentine	Hydrocarbons	0	0	Good
Water	Misc.	0	0	Good

Swelling (Visually rated from 0-2): 0 = None, 1 = Slight, 2 = Significant Degradation (Visually rated from 0-2): 0 = None, 1 = Slight, 2 = Significant

### RATINGS:

Good: No swelling, no degradation

Fair: Temperature increase and/or color change

NR (Not recommended): Significant degradation or swelling

For additional assistance, please contact New Pig Technical Services at 1-800-HOT-HOGS® (468-4647).

### 100% Money-Back Guarantee

If you're not happy with a product, for any reason, we'll refund every penny of your purchase price. That means we'll refund all sales taxes, shipping costs, and any other incidentals - without tacking on a restocking fee or an other surprise charges. You get ALL your money back. Period.

One Pork Avenue, Tipton, PA 16684-0304 • 1-800-HOT-HOGS® (468-4647) • Fax: 1-800-621-PIGS (7447) Email: hothogs@newpig.com • Web: newpig.com

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Last revised 3/14/12

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<sup>\*</sup> Liquid may be slow to absorb

<sup>\*\*</sup> Liquid may not absorb







Home > Catalog > critter-can > bear\_proof\_can.php



### BEAR PROOF CONTAINERS AND GARBAGE CANS:

### BEARICUDA Bin™ Basic Bearproof Containers.

Our Bearicuda Bin™ Basic bear proof containers are made of heavy duty, blown molded high density polyethylene to meet our high bear resistant and proof container standards. Our bear proof containers are tested and approved by non-profit bear and wildlife testing facilities. The reinforced screw top lid provides a secure, air tight seal to reduce food odors that attract bears and other animals. Our 30 gallon bear proof and bear resistant containers have been a popular choice for several residential communities in New Jersey trying to cope with an ever growing bear problem.

Bearicuda Bins™, also known as the Original Critter Can is endorsed by the Bear Education and Resource Group in New Jersey as well as Living with Wildlife Foundation (LWWF), Montana Fish, Wildlife & Parks, and Interagency Grizzly Bear Committee Testing Program For Bear-Resistant Products. We have the largest selection of Bear Resistant Containers and Bear Proof Containers to select from in the industry. Please feel free to use our bear selection chart to choose the right bear proof container to meet your needs.





Made Right Here In The USA, By our People in our Country!

BEARicuda Bin™ Basic Container

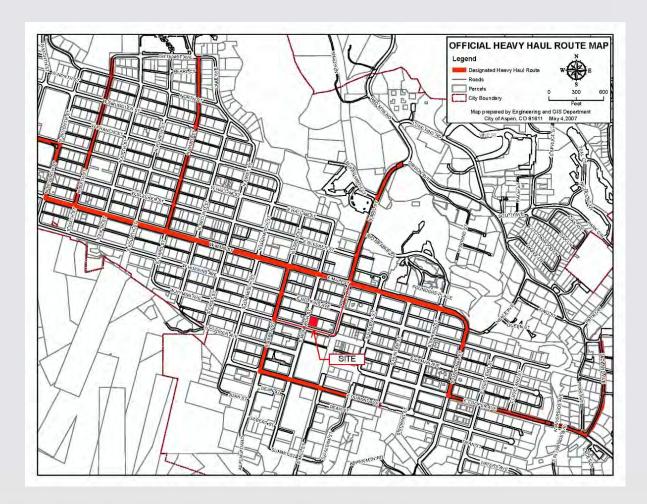


### 6.1 Traffic Control

All traffic control operations will be managed by the designated Certified Traffic Control Supervisor.

#### 6.2 Haul Routes

The Contractor will direct all hauling-related activities Monday thru Friday to the City of Aspen's designated project Haul Route throughout the City. The Site haul route is oriented to minimize traffic congestion and maximize pedestrian safety. Vehicle weight will not exceed 65,000 pounds. All deliveries will be coordinated with the Contractor's Superintendent in accordance with approved delivery times. Saturday hauling by City of Aspen Engineering approval only.





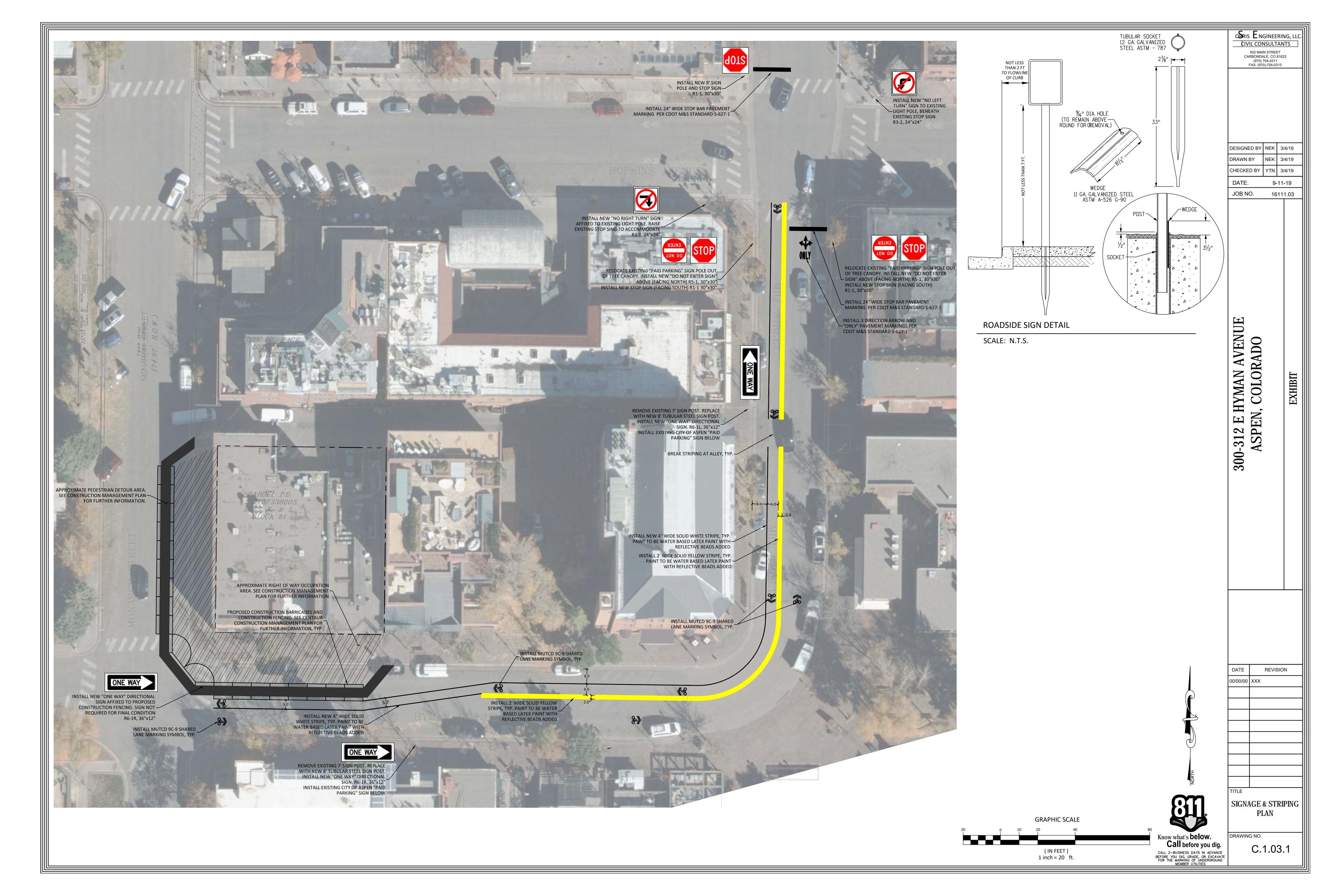
#### 6.5 Traffic Control Plan

The primary delivery entrance and exit point will be along the E. Hyman Avenue side of the project. Vehicles will enter from the West gate and exit from the East gate: Reference the Site Logistics Plans in Section 5 and accompanying Traffic Plans for specific information and detailing.

Traffic control required for major deliveries will be coordinated with the City of Aspen Engineering and Parking Departments. All required traffic control personnel and signage will be in place prior to vehicle entrance.

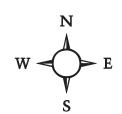
The Contractor will be responsible for dispatching all offsite delivery vehicles to the onsite staging area and coordinate prompt offloading so as not to allow backup of vehicles in the public right-of-way. Delivery and Heavy-Duty Vehicles must have a visible sign on the vehicle that specifies the project contractors name and phone number.

Any partial road or right-of-way closures that may be required for utility work will be coordinated through the City of Aspen Engineering, Police, and Parking Departments. Public Notices will be posted a minimum of 48 hours prior to any temporary roadway closure. A minimum of a single traffic lane shall remain open at all times. Any open trenches will be covered with steel plates during non-working hours when practical to allow for overnight through traffic. Roads will not be closed under any circumstances, unless granted permission from the City of Aspen Engineering Department.



Date: 18/10/2019 Author: Brigid Irish Project: Centaur Construction Construction **Comments:** Manifest Lane Closure 25 x Cone 3 x W20-1 road work ahead 300 E. Hyman, Aspen, CO 3 x W20-7a flagger MUTCD TA-10 **3 x** W3-4 be prepared to stop Crane & Delivery Truck One Way Wagner Park

CENTAUR CO. **UTILITY WORK ALLEY CLOSURE** 312 E. HYMAN AVE. ASPEN, CO. **MUTCD TA-20** 1-16-19



\*\*\*\*NOTE \*\*\*\* XX-WORK AREA \*NOT TO SCALE\* **SIGN SPACING MEASUREMENTS** ARE AT SET MINIMUM **STANDARDS** 

100 FT. 100 FT. ST MONARCH ST. **ALLEY** 100 FT. 100 FT. E. HYMAN AVE.

E. HOPKINS AVE.

PREPARED BY TRAFFIC CONTROL SUPERVISOR:

Cesar R. Jaquez 1-16-19

APPROVED BY

DATE

CONTRACTOR:

APPROVED BY CITY/TOWN OF;

DATE

DATE

SIGN LIST: 4-36" ALLEY CLOSED AHEAD 1-TYPE I (saw) ALLEY CLOSEED TO THRU TRAFFIC 2-TYPE I (saw) ALLEY CLOSED 10-36" TRAFFIC CONES







Colorado Contractors Association

TCS Certification Board

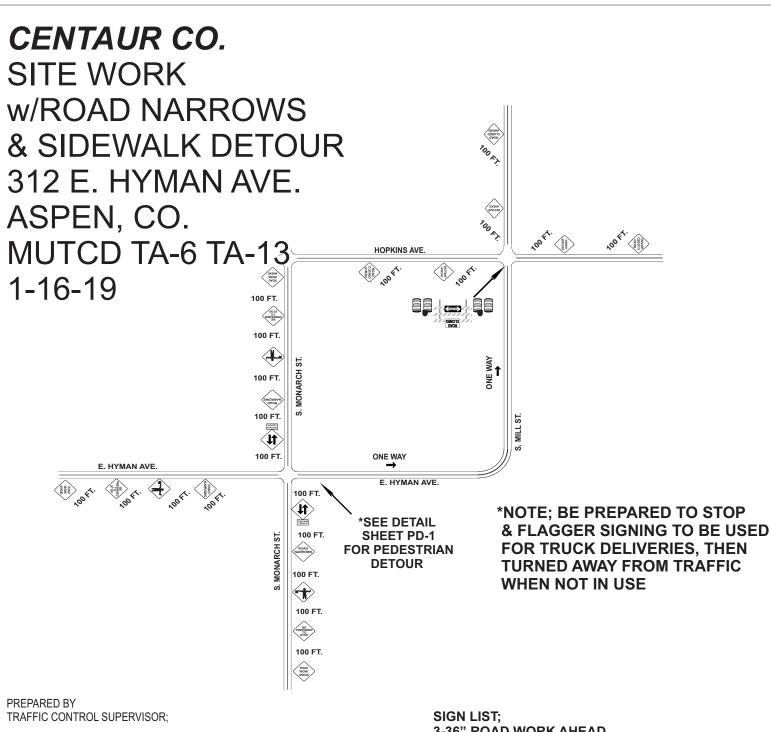
This Card Certifies that

**CESAR JAQUEZ** 

is qualified as a WORK SITE TRAFFIC SUPERVISOR

Issue Date: July 2018

Expiration Date: July 2021



Cesar R. Jaguez 1-16-19

APPROVED BY

DATE

CONTRACTOR;

APPROVED BY CITY/TOWN OF; DATE

DATE

3-36" ROAD WORK AHEAD

3-36" FLAGGER (symbol)

3-36" BE PREPARED TO STOP

3-36" ROAD NARROWS

3-36" TWO WAY TRAFFIC (symbol)

3-36" ROAD CLOSED AHEAD

3-36" DETOUR AHEAD

4-42" DIVERTER CONES

6-42" DIVERTER CONES w/LIGHTS (flashing)

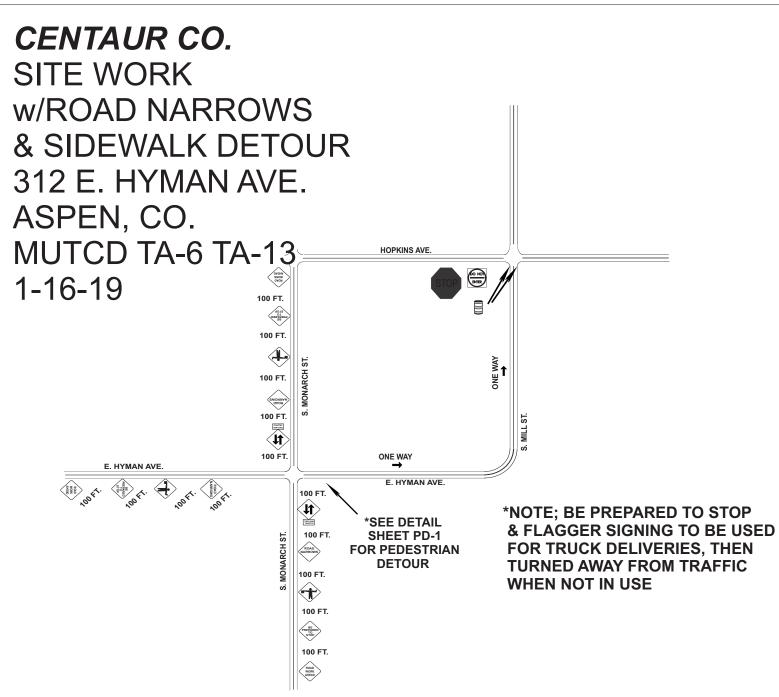






\*\*\*\*NOTE \*\*\*\* XX-WORK AREA \*NOT TO SCALE\* SIGN SPACING MEASUREMENTS **RE AT SET MINIMUM STANDARDS** 





PREPARED BY TRAFFIC CONTROL SUPERVISOR;

Cesar R. Jaguez 1-16-19

APPROVED BY

DATE

CONTRACTOR;

APPROVED BY

DATE

CITY/TOWN OF;

SIGN LIST;

3-36" ROAD WORK AHEAD

3-36" FLAGGER (symbol)

3-36" BE PREPARED TO STOP

3-36" ROAD NARROWS

3-36" TWO WAY TRAFFIC (symbol)

**2-36" STOP SIGN** 

2- DO NOT ENTER

4-42" DIVERTER CONES

6-42" DIVERTER CONES w/LIGHTS (flashing)

DATE







\*\*\*\*NOTE \*\*\*\* XX-WORK AREA \*NOT TO SCALE\* SIGN SPACING **MEASUREMENTS RE AT SET MINIMUM STANDARDS** 



CENTAUR CO. SHEET PD-1 SITE WORK SIDEWALK DETOUR 312 E. HYMAN AVE. ASPEN, CO. MUTCD TA-1 1-16-19

PREPARED BY TRAFFIC CONTROL SUPERVISOR;

Cesar R. Jaquez 1-16-19

APPROVED BY CONTRACTOR:

DATE

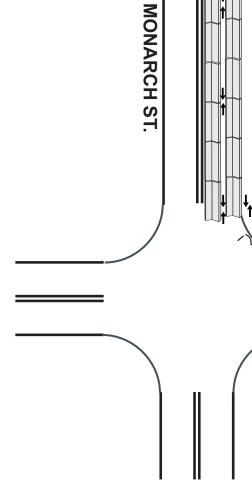
APPROVED BY

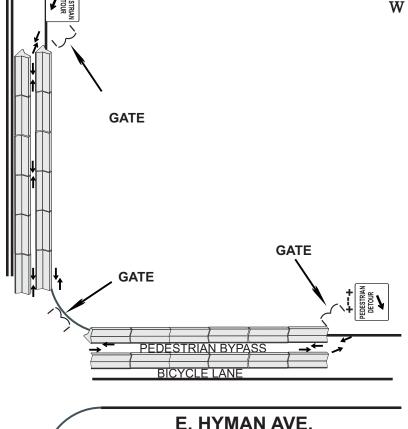
DATE

CITY/TOWN OF;

DATE







SIGN LIST; 2-TYPE I (saw) PEDESTRIAN DETOUR w/ARROWS (1-left/1-right)







\*\*\*\*NOTE \*\*\*\*

Y MORK AREA

TO SCALE\*
I SPACING
UREMENTS
SET MINIMUM
STANDARDS

Colorado Contractors Association

TCS Certification Board

This Card Certifies that

CESAR JAQUEZ

is qualified as a WORK SITE TRAFFIC SUPERVISOR

Issue Date: July 2018

**Expiration Date: July 2021** 



#### 7.0 Pedestrian Protection

The plan is developed in compliance with pedestrian safety per City of Aspen code 21.04.060, MUTCD Chapter 6D, the Americans with Disability Act, and IBC Chapter 33.

Pedestrians are routed around the project site via the alternate pedestrian walkway route that is delineated by the jersey barriers for a convenient, safe, and accessible path around the construction impact containment zone. Ramps from existing sidewalks to street asphalt will be incorporated for continuity of accessible paths for pedestrians. The walkways will not extend beyond the back of the existing parking spaces and pedestrian flow and construction traffic will only interact at barrier extents which will be closely monitored by traffic control personnel and proper signage. No crane loads will be maneuvered over walkways when in use. The pedestrian walkways will be temporarily closed, and pedestrians routed across the street during major deliveries, utility crossings, and/or any other activity that may endanger the public. The Contractor will be responsible for snow removal directly adjacent to the pedestrian walkways.

Reference the Site Logistics Plan in section 5 and renderings on the following pages for specific information and detailing.













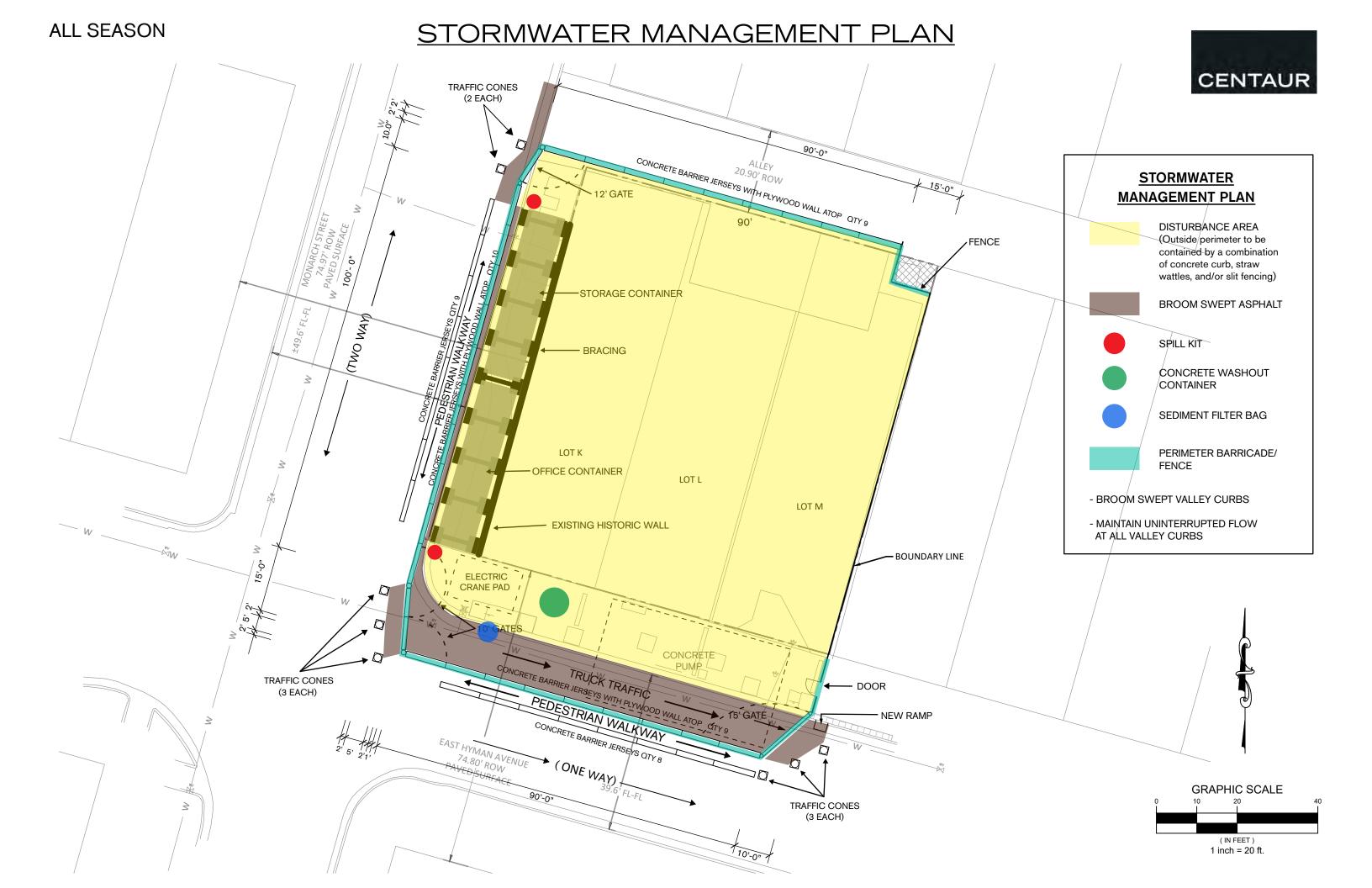


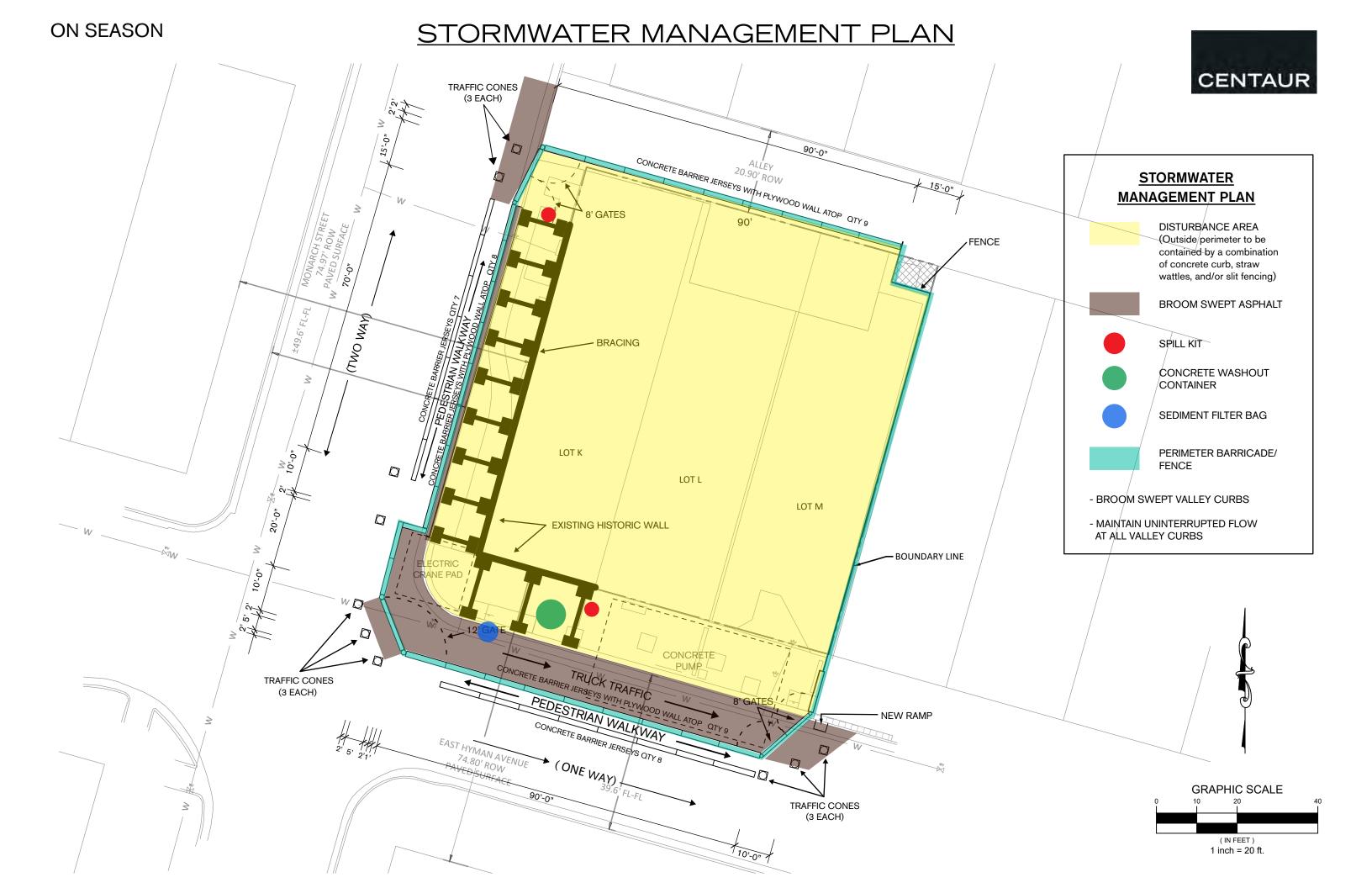


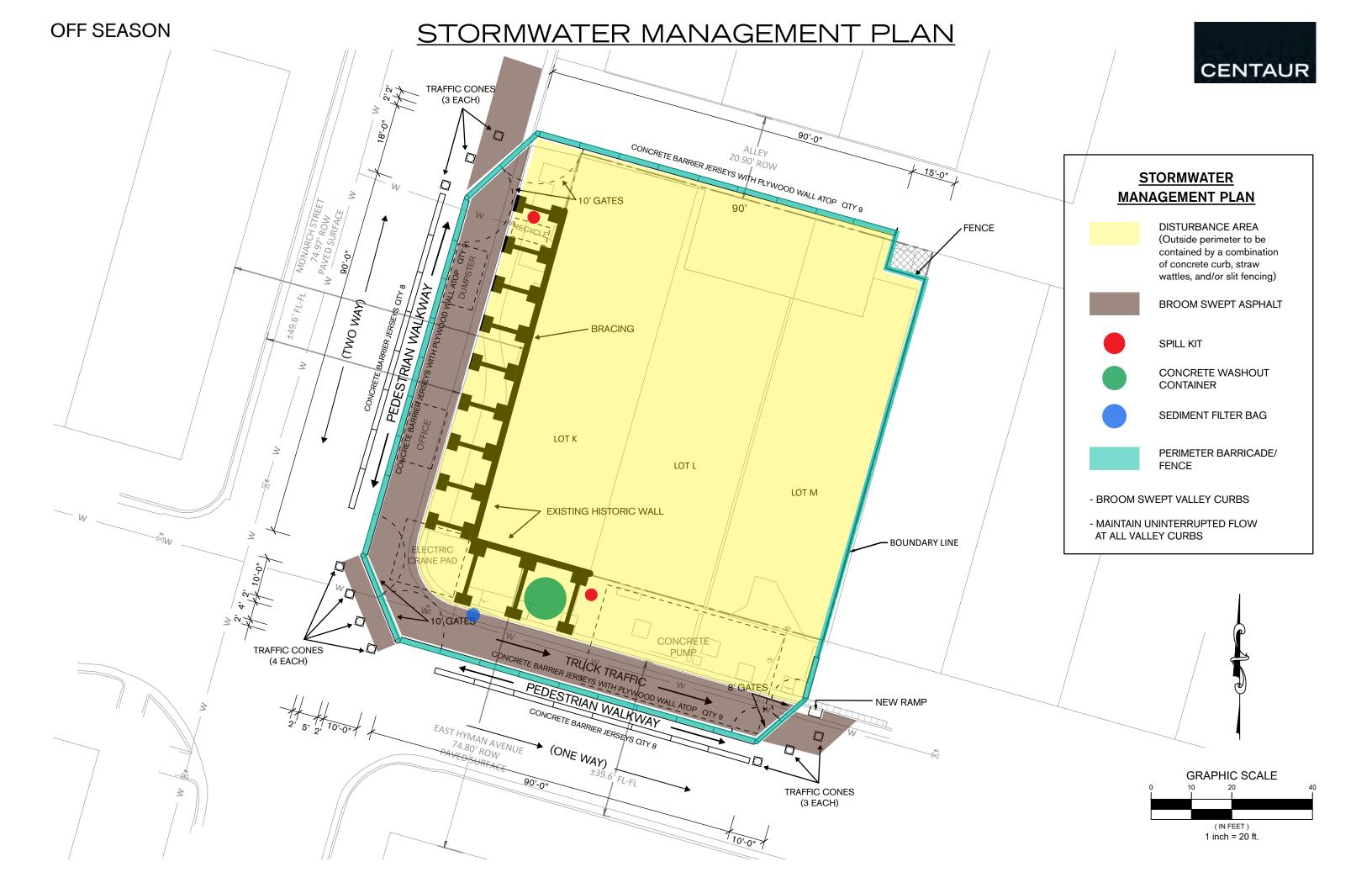
#### 8.0 Sediment and Erosion Control

A Storm Water Pollution Prevention Plan has been attached. The Contractor has designated a Certified Erosion Control Supervisor to oversee all activities relating to Storm Water Management.

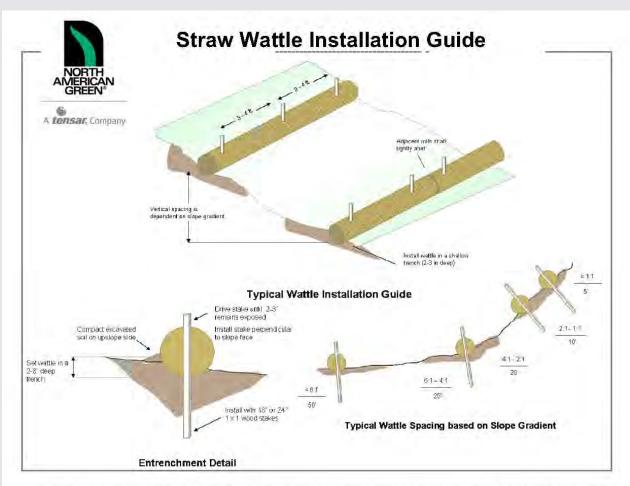
- No on-site stockpiles are anticipated.
- Mud tracking ramps will not apply to this project. It is anticipated that vehicles will remain on paved surfaces. Paved areas shall be left in a broom clean condition and vehicle wheels shall be cleaned off prior to exiting the site. Heavy vehicle traffic shall be discouraged on muddy days.
- On site concrete washout shall be discouraged. In the event that this cannot be complied with, then an on-site washout station shall be installed to contain any onsite washout.
- Contractor will maintain an on-site hazardous material spill cleanup kit that contains at a minimum a 25-pound bag of Floor-Dri or equal absorbent pads and their spill kit materials.
- City inlets, gutters, swales and irrigation ditches will be protected with erosion control devices and such protection maintained until final stabilization has been achieved. This plan shall be actively communicated to the workforce and consistently updated. On-site internal inspections shall occur at the minimum frequency of once every ten (10) calendar days and as soon as practical after every storm water event.
- Reference the attached Storm Water Management Plan on the following page for specific information and detailing.











- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" (5-7.5 CM) DEEP X 9" (22.9 CM) WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE, COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18-24"  $(45.7-61\ \text{CM})$  STAKES EVERY 3-4"  $(0.9-1.2\ \text{M})$  AND WITH A STAKE ON EACH END, STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3"  $(5-7.5\ \text{CM})$  OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.

North American Green Straw Wattles are a Best Management Practice (BMP) that offers an effective and economical alternative to silt fence and straw bales for sediment control and storm water runoff

Guidelines are provided to assist in design, installation, and structure spacing. The guidelines may require modification due to variation in soil type, rainfall intensity or duration, and amount of runoff affecting the application site.

To maximize sediment containment with the Straw Wattle, place the initial structure at the top/crest of the slope if significant runoff is expected from above. If no runoff from above is expected, the initial Straw Wattle can be installed at the appropriate distance downhill from the top/crest of the slope. The final structure should be installed at or just beyond the bottom/toe of the slope. Wattles should be installed perpendicular to the primary direction of overland flow.

Straw Wattles are a temporary sediment control device and are not intended to replace rolled erosion control products (RECPs) or hydraulic erosion control products (HECPs), if vegetation is desired for permanent erosion control, North American Green recommends that RECPs or HECPs be used to provide effective immediate erosion control until vegetation is established. Straw Wattles may be used in conjunction with blankets, mats, and mulches as supplemental sediment and runoff control for these applications. Like all sediment control devices, the effectiveness of the Straw Wattle is dependent on storage capacity







### **GutterGuard Curb Style Inlet Guard**

FLT561 Curb-Style Drain Guard & Filter, For Debris; Sediment, For Curb Opening up to 10'

Block sediment and other debris from curb inlets and storm drains.

- To install, just place in front of curb inlet, with no weights or hardware required
- Keeps silt and debris out of curb-style storm
- During heavy rain, overflow ports prevent ponding in front of drain
- Reusable design can be cleaned and stored for less waste, expense and maintenance than other drain protection methods
- Useful as a best management practice in stormwater pollution prevention plans
- Ideal for construction sites, municipal streets, parking lots, etc

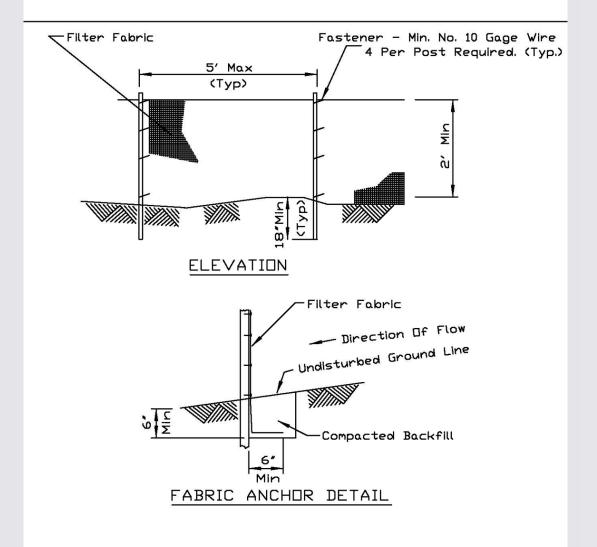


### Specifications

Style	Drain Filters
Use With	Curb Opening up to 10'
Color	Gray/Yellow
Dimensions	ext. dia. 9" x 12' L
Recycled Content	100% Post-Consumer Recycled Polypropylene Fibers
Drain Filter Type	Curb-Style Drain Guard & Filter
Installation	On Grate
Substance Filtered	Debris; Sediment
Sold as	1 each
Weight	28 lbs.
# per Pallet	10
Composition	Filter Skin - HDPE Mesh Rolled Media - Synthetic Fiber
Opening Dimensions	3" Dia.



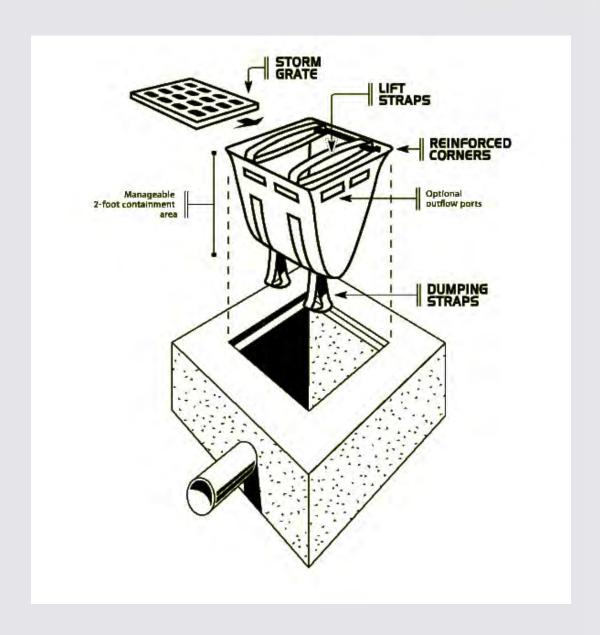
### SILT FENCE PLAN



### NOTES

- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class I with equivalent opening size of at least 30 for nonwoven and 50 for woven.
- 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.







### **Fugitive Dust Control** 9.0

The Contractor has included the Pitkin County Fugitive Dust Control Plan to the Pitkin County Environmental Health and Natural Resources Department for approval. In addition, the following methods and procedures will be implemented:

- Dust Control: Dust Control is considered an integral part of the work. Control will be provided from the start of construction until the work is complete.
- Watering: For all construction within the site, the Contractor will have water available for dust control. Wetting will be done as required until final wearing courses and landscape are completed. For utility construction dust control may be accomplished from an on-site water source.
- Vehicle Speed Control: Construction vehicles will not exceed 15 mph within the property.
- Vehicle Tracking Control: Contractor will provide for the cleaning of truck tires exiting onto the street and sweeping of any sediment that tracks onto the public street as required.
- Re-vegetation: None required. Hardscape shall be replaced as soon as feasible.
- Contractor's Contact (24 Hour)

Centaur Construction Company, Inc.

Brad Hribar

Project Manager

361 W Chestnut, Suite 200

Chicago, IL 60610

Cell: (312) 714-8519

### PITKIN COUNTY FUGITIVE DUST CONTROL PLAN

	roperty wner(s):	312 E Hyman <i>i</i>	Avenue, LLC					
	roperty Addı					– Zip Code: 81611		
• • •	oporty / tau	Aspen, CO						
D.	arcel ID:	2737-073-38-0	109					
	ontact Perso				Phone Number:	312-71/-8510		
_			uroo oom		•			
E	mail Addres	s: <u>bhribar@centa</u>	lurco.com		Fax Number:	312-644-4472		
		development activities: existing two-story stru	ity: ucture and constructio	n of new three-	story structure on	same lot.		
To	otal area of	land in project:	.33	Acres				
D	ate earthmo	ving will commence:	09/01/2019		Stop: 11/15/2	2020		
		bject to earthmoving:		Acres	·			
		d area at any one tin		Acres				
A	rea to be pa	ved (roads, parking		— Acres				
	ts):		.11					
E: (ir	stimated ti ncludes buil st any know	will be complete me to complete dings): n or suspected conta	entire project	07/15/2021				
	X	Unpaved Roads on Watering Frequent (W As needed Application of Chemi Vehicle Speed Contr	atering frequency of 2	or more times	per day)			
		Speeds limited to	15 MI	PH maximum. \$	Speed limit signs r	nust be posted.		
		•	maximum approvable			•		
		Gravelling		•				
		Disturbed Surface A	Areas on Site					
		Watering	<del></del>					
		Frequent (W	atering frequency of 2	or more times	per day)			
		As needed						
	$\boxtimes$	Application of Chemi Covering Large Mou Vehicle Speed Contr	nds of Soil Exposed for	or >24 Hrs				
		Speeds limited to	MI	PH maximum. \$	Speed limit signs r	nust be posted.		
		Revegetation	<del></del>					
	_ <del>_</del>	Seeding with	n mulch					
		Seeding with						
			gle to Prevailing Wind					
	<del></del>	Depth of furrows	-	ust be greater th	an 6")			

2-13-08

		Compa	ction of Disturbed Soil	on a Daily Basis	s to Within 90 % of	Maximum Compaction
		(As dete	ermined by a Proctor <sup>-</sup>	Test).		
			Foundation areas onl	ly		
			All disturbed soil.			
	×	Wind Br	reaks			
	_	Type: S	Site Barricade	(E.g., snow fe	nce, silt fence)	
		Synthet	ic Or Natural Cover F	_ or Steep Slopes.		
	_	•				
		_		_ ( 0 ,	σ,	
III.	Preventi	ion of Mu	d and Dirt Carried Ou	t Onto Paved Su	rfaces.	
	×	Prevent	ion			
			Gravel Entryways			
		×	Washing Vehicle Wh	eels		
			Other:			
	×	_	o of Paved Areas	Frequenc	y:	Times Per Day
	_		Street Sweeper	•		
			Hose With Water			
			0.11			
ackno during	wledge a g the cou nged drou	nd agree rse of my ıght).	that I may be requir	red to suppleme s warrant (e.g.,	ent or modify the o	ng development. I further controls specified above atering during periods of
		インへ	2 HKIRH			01/08/2019
Si	gnature of	Person I	Responsible for Imple	menting Plan:		Date
Br	ad Hribar					Project Manager
Na	ame (pleas	se print)				Title
Subm	it this for	( <i>إ</i> F F	Pitkin County Environr 0405 Castle Creek Rd Aspen, CO 81611 Phone: 970.920.5070 Fax: 970.920.5077 www.aspenpitkin.com/	., Suite 10	Natural Resources	
FOR C	OUNTY U	JSE ONL	<u>.Y:</u>			
Appro	ved		_ Denied _			
By: _					Date:	, 20

2-13-08



#### **Emissions** 10.0

All equipment used on-site will be properly maintained so that the engines will function within manufacturer's standards or parameters.

Emission from Diesel engines operated within the City of Aspen shall be of a shade or density no darker than 40% opacity, except for starting motion no longer than 10 seconds or for stationary operation not to exceed 10 seconds (exception being drill rigs). All trucks and equipment will have emissions permits up to date before starting the project.



#### Noise Management 11.0

The noise limit for construction is 80 decibels measured at the property line of the construction site except during the "On Season" Summer Time Frame: June 1st thru Sept. 5th Labor Day for which 70 decibels will be observed. All construction equipment will be adequately muffled and maintained to suppress noise. The installation of noise barriers is the minimum technique to suppress noise, especially when jack hammering of concrete occurs. Noise monitoring (using professional equipment) will be performed and recorded for the City's Construction Mitigation officer to monitor and review online.

All activities that generate noise in excess of 80 decibels will comply with the noise suppression plan and are restricted to operating between the hours of 9am and 5pm Monday through Friday. Prior approval from the City of Aspen will be required in the instances where it may be necessary to work outside of these hours with equipment that exceeds the noise standards. Neighbors within three hundred (300) feet of the project shall be notified in writing a minimum of seven (7) days prior to the start of the project for any activities anticipated to exceed 80 decibels. Efforts shall be made to maintain open communications with the adjacent stakeholders.

Equipment will be operated in accordance with manufacturer's specifications and with all standard manufacturers' mufflers and noise-reducing equipment in use and in properly operating condition.

Notices will be posted to inform workers, including sub-contractors, about the basic noise requirements, as well as specific noise restrictions, to the project.

Noise barriers will be utilized around all equipment/activities specified in Table 1. Noise barriers not only significantly reduce construction noise, but they also provide an extra benefit of "hiding" the noise producing sources, thus increasing a neighbor's tolerance.

Portable loud equipment including generators, compressors and cement mixers will be strategically located to reduce impacts on individual neighbors.

The use of hand radios on-site prior to 8am is not permitted.

#### 11.2 Noise Suppression Plan and Model

# **Acoustic Analysis Report**

# **CONSTRUCTION PHASE**

300-312 E Hyman Avenue, Aspen, CO



### **CREATED BY:**



### PREPARED FOR:









Project Title	300-312 East Hyman Avenue, Aspen, CO
Client	Centaur Construction
Report Title	Acoustic Analysis Report - Construction
Report Number	DAS-10077-01 Rev B
Report Date	23 <sup>rd</sup> October 2019

Prepared by

Engineering Manager

Approved by

President

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### 1. Introduction

This acoustic analysis report of the construction phase is intended to fulfil all regulatory requirements, in regard to noise for the proposed commercial property at 300-312 East Hyman Avenue, Aspen, Colorado.

It will assess the predicted sound levels at the property boundary line whilst the construction phase is taking place. Specifically, it has been identified that the earth retention works will be the main source of noise during this phase. Thus, this report focuses on the noise levels when only the tieback drilling rig and associated compressor are in operation.

All noise mitigation measures that have been incorporated into the site will be detailed within this report.

### 2. Regulatory Requirements

The City of Aspen's Engineering Department has clearly defined the acceptability criteria for all construction works. These criteria are given in Section 11 of the *Construction Management Plan Requirements Manual*, April 2016.

The manual defines that all measurements will be taken at the boundary of the site. The noise level limitations are dependent upon what time of the year the construction works are taking place. These criteria are reproduced below:

- Projects are limited to 70 decibels (dB) at the property line during the summer on season.
- In addition to the decibel limit listed above, projects located on the Mall will be limited to 70 decibels (dB) at the property line during the winter on season.
- All other times projects will be limited to 80 decibels (80dB) at the property line.

On Season Summer Time Frame: June 1st thru Labor Day

On Season Winter Time Frame: November 15th thru March 31st.

Allowances of an additional 10 dB from the limits above will be made for short durations. However, under no circumstance can the decibel limit exceed 80 dB at the property line.

The compliance of the proposed construction at 300-312 East Hyman Avenue will be assessed based on these criteria.

The proposed building will have the construction phase take place during the "On Season Summer Time Frame"; hence the acceptability criterion that the predicted results will be assessed against is an overall A-weighted sound pressure level of 70dBA at the construction site's boundary.

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### 3. Analysis

The acoustic analysis was undertaken modelling the 2 main noise sources during the earthen works stage of the construction phase; the tieback drilling rig engine and the associated compressor. To accurately model these noise sources, sound pressure level measurements were taken of appropriate equipment currently in operation at a construction site in Washington D.C. These real-world measurements were converted into sound power levels.

This sound power level data was used in a 3D computer generated noise model to predict the sound pressure level at 8 discrete locations around the perimeter of the site. See Figure 1 for details of these locations.

Since the drilling rig will move around the perimeter of the site, multiple analyses must be undertaken to ensure a fair and accurate prediction is conducted. Hence 8 representative drilling locations were modelled to gain an understanding of how the noise level changes as the drilling rig operates at different location. See Figure 2 for details of these locations.

#### 3.1 - Brief Description of Modelled Conditions

The 3D noise model was created using the commercially available SoundPlan v8.0 software. This software utilizes internationally accepted standards and formula for the propagation of environmental noise sources. Buildings in the direct vicinity of the proposed construction site were modelled.

The drilling rig engine is modelled as a dimensionally accurate, simplified cuboid radiating representative noise levels from each side and the "roof". Each "panel" of the cuboid radiates uniformly. Similarly, the associated compressor is modelled as a dimensionally accurate, simplified cuboid radiating representative noise levels from each side and the "roof". Each "panel" of the cuboid radiates uniformly.

All measurements positions are modelled as 4 feet above the existing terrain and 3 feet from the site perimeter fence (to avoid erroneous results due to near-field reflections from nearby objects)

### 3.2 - Representative Drilling Locations and Measurement Positions

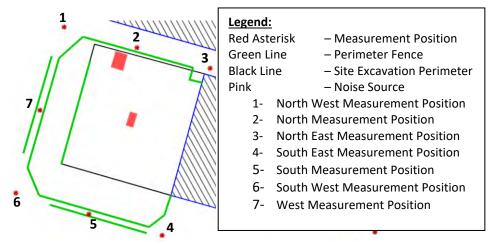


Figure 1 – Measurement Positions (See Legend for additional Information)

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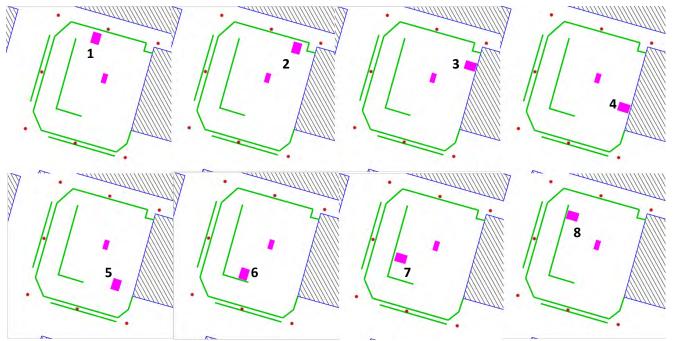


Figure 2 – Representative Drilling Locations Modelled in Analyses

### 3.3 - Cases Analyzed

The purpose of this analysis is to assess compliance of the as-built noise abatement plan. The overall final details of the As-Built case analyzed are as follows:

- 3. "As-Built Enhanced" Construction Barrier for Site Perimeter Fence (includes interior absorption)
  - > 10' 11" overall height
  - 3ft of "concrete Jersey barrier" for base
  - ➤ 8ft of ½" plywood fence mounted upon base
  - Interior 7' 11" of Plywood fence treated with NB QuietPerf 2" panels (excludes gates)
  - > All entrance gates 10' 11" height, constructed of plywood, no interior treatment



#### 3.4 - Results

Based on the 70dBA design criterion (All Seasons); the finalized noise mitigation measures in Case 3 are close to compliance with the legislative requirements.

When implemented the As-Built noise mitigation measures described for in Section 5 (Case 3) lead to the following predicted sound pressure levels at each measurement position:

Measurement	Sound Pressure Level (dBA) at Drilling Position							
Position	1	2	3	4	5	6	7	8
North-West	68	64	65	64	62	62	62	64
North	71	68	66	64	63	64	64	67
North-East	62	68	66	62	61	62	61	63
South-East	62	62	63	65	67	64	64	63
South	60	61	61	62	62	64	63	62
South-West	61	60	60	62	62	63	61	60
West	62	62	61	62	62	61	63	62

Table 1 – Overall A-Weighted Noise Level at the Proposed Construction Boundary – As-built Enhanced Walls

For Case 3, almost all measurement positions during tieback drilling activity at all representative drilling location are in compliance with the 70dBA noise limit as given in the regulatory requirements.

The real-world measurements, upon which the data used to predict these levels are based, were of machinery that was "well-worn". As such it is possible that these levels may reduce further since the equipment used during this construction may be in better repair; thus, radiate lower noise levels.

These situations have also been mapped to allow visual inspection of the propagation of construction noise into the surrounding area. The results of these maps can be found on the following pages.



### 4. Technical Conclusions

A 3D noise model was created using the SoundPlan v8.0 software, to calculate the resultant noise level at the boundary of the proposed construction site at 300-312 East Hyman Avenue, Aspen, Colorado when the earthen works are occurring and Tieback drilling is taking place.

Several different noise abatement treatments were trialed and optimized to find the correct combination of noise mitigation measures which would reduce the level of noise at the boundary of the construction site, to the meet the noise limit sets by the local authorities.

It has been found that with the noise mitigation measures laid out within this report, the acceptance criteria can be achieved at all representative measurement positions, when the drilling rig is operating at all representative drilling locations.

#### 5. Noise Abatement Provisions

It has been stated previously that the "standard" construction perimeter fence will achieve the levels of noise reduction required to meet the 80dBA regulatory requirements.

The noise abatement built, which almost meets the 70dBA is the "As-Built Enhanced" version (Case 3) of the perimeter fence. The details of the requirements for each part of the perimeter fence are given in Figure 3.

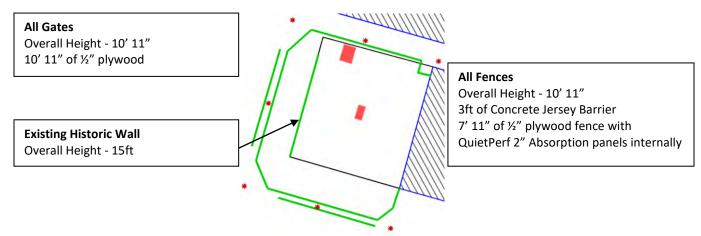


Figure 3 – Details of Perimeter Fence Construction to Achieve Regulatory Requirements

### 6. Noise Monitoring Position

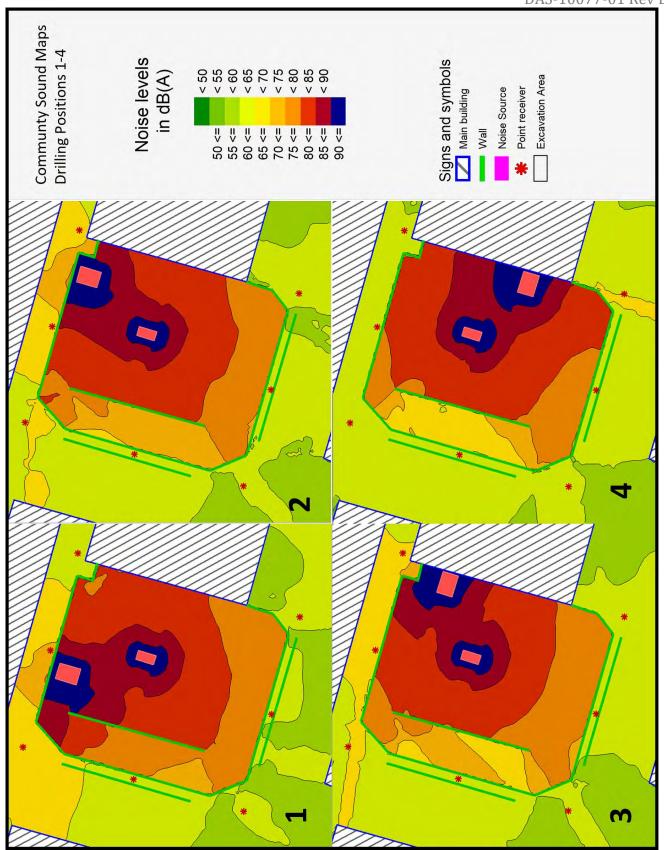
As required by the regulations this construction site will require noise monitoring during the construction phase. Hence a position must be selected for the measurement equipment which will be suitable for long-term monitoring of the noise emanating from the construction site.

The measurement position selected for monitoring is adjacent to the South-Eastern man-door, approximately measurement position 4.

Page 5 of 7

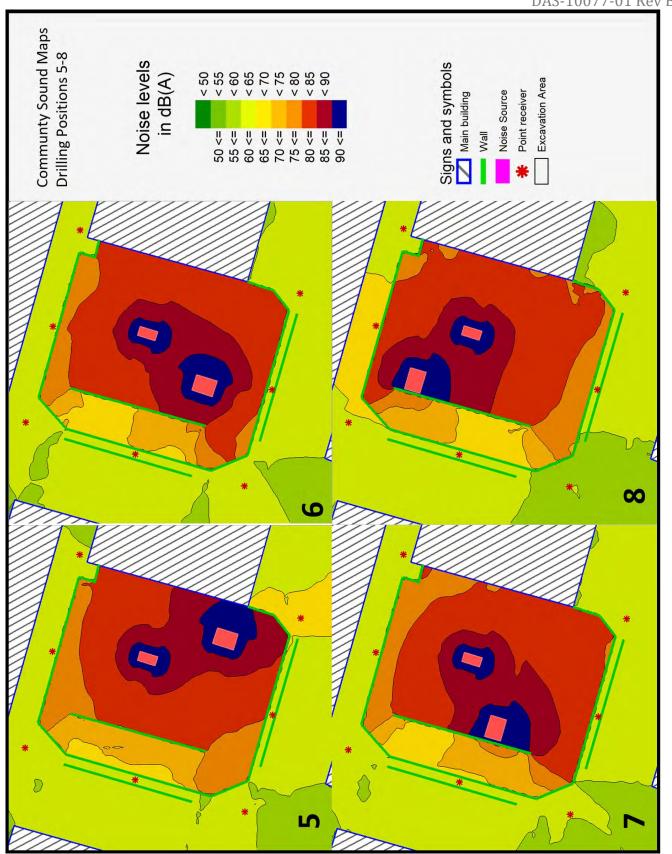








DAS-10077-01 Rev B





# City of Aspen Construction Noise Suppression Plan

following restrictions and w will lessen the impact to the	ill provide the necessary noise properties within 300 feet of	<u>Brad Hribar</u> hereby agree to the suppression (outlined below), such that if the project located at construction activities exceed 80 decibels
		City of Aspen Environmental Health
•	ecific noise suppression plan	•
BRAD HRIBAR	Brad Hrit	<u>oar</u>
Signature	Print name	
On-site Contact Phone # _	(312) 714-8519	
often be controlled using imminimize noise. Noise Supp	proved work practices. Build	
All construction activity is li	nited to the following days an	
Monday thru Friday	Saturday	Sunday
7:30 am to 5:30 pm	9:00am to 5:00 pm	•
Constructions activities pro and times:	ducing noise greater than 80	decibels are limited to the following days
	<i>Monday thru Fri</i> 9:00 am to 5:00	•
	•	ise suppression plan will <u>not be allowed fo</u> compressors, generators, jackhammers,

Construction activity is not allowed during all federal holidays.

power source, including a battery, on Saturday.

Due to the congestion in Aspen when town is completely full, noise suppression plans will not be approved for the following dates: Christmas Week (December 25 through Jan. 1), Food and Wine Week in June (Friday thru Sunday), 4th of July day and/or weekend if it falls on a Friday or Monday, and Labor Day weekend.

construction activities. This does not restrict quiet work inside and outside that does not require a

power equipment, nail guns, drilling machinery, earth moving equipment and similar loud



#### 11.3 Noise Limits and Suppression Requirements

- Projects are limited to 70 decibels (dB) at the property line during the summer on season.
- In addition to the decibel limit listed above, projects located on the Mall will be limited to 70 decibels (dB) at the property line during the winter on season.
- All other times projects will be limited to 80 decibels (80dB) at the property line.

On Season Summer Time Frame: June 1st thru Labor Day On Season Winter Time Frame: November 15th thru March 31st.

Allowances of an additional 10 dB from the limits above will be made for short durations. However under no circumstance can the decibel limit exceed 80 dB at the property line.

Allowance for an excess noise exception from the above limits will be reviewed by the City Engineer. Criteria for the exemption include:

- Where it is in the interest of public safety
- Public infrastructure work within the Right of Way
- Other activities within the Right of Way where there is no other reasonable alternative
- Short duration residential roofing repair projects

Work associated with any allowances described above will not be permitted to start before 9am on weekdays and will not be permitted on Saturdays.

Sites will be required to operate equipment in accordance with manufacturer's specifications and with all standard manufacturers' mufflers and noise-reducing equipment in use and in properly operating condition



### TABLE 1: NOISE CONSTRUCTION EQUIPMENT AND NOISE SUPPRESSION PLANS

Equipment Category	Typical Noise Controls	
Pile Driver	Enclosure, muffler	
Stone saw cutting	Noise control pad with water	
Handheld	Reduction of reflected sound	
impact drills		
Circular saw blades	15° tooth angle, new tooth configuration, slotted saw blades, viscoelastic damping	
Pneumatic tools	Muffler	
Pavement breaker/ Rock drill	Muffler, enclosure of cylinder case and front head, moil damping	
Portable air	Muffler, acoustic enclosures	
compressor		
Bulldozer	Bulldozer Cab-liner material, enclosure, sound absorption in canopy, sealing of all openings	
Wheeled loader	Absorption of sound cooling air route	
Vibratory roller	Flexible mounting for pump compartment	
Joint Cutter	Anti-vibration mounting fixtures	
Dropping From Height (re-roofing)	When dropping materials from a height—for example, into or out of a truck, or when loading or unloading scaffolding, noise suppression plans require a chute or side baffles.	
Generators	Acoustical enclosures and barriers surrounding equipment	
Generators25 KVA:	The local power grid shall be used wherever feasible to limit generator noise. No generators larger than 25 KVA shall be used and, where a generator is necessary, it shall have maximum noise muffling capability.	
Hand Tools	Sound absorbing material and vibration isolation systems on hand tools	
Dismantling Formwork	use rubber mallets to erect and dismantle formwork	
Backup Alarms	All equipment with backup alarms operated by the Contractor, vendors, suppliers, and subcontractors on the construction site shall be equipped with either audible self-adjusting ambient-sensitive backup alarms or manually-adjustable alarms. The ambient-sensitive alarms shall automatically adjust to a maximum of 5 dBA over the surrounding background noise levels. The manually-adjustable alarms shall be set at the lowest setting required to be audible above the surrounding noise. Installation and use of the alarms shall be consistent with the performance requirements of the current revisions of Society of Automotive Engineering (SAE) J994, J1446, and OSHA regulations.	
Compressors	The unit with the lowest noise rating which meets the requirements of the job should be used where work is conducted in the City of	



Jackhammer	All jackhammers and pavement breakers used on the construction site shall have exhaust systems and mufflers that have been recommended by the manufacturer as having the lowest associated noise and hall be enclosed with shields or acoustical barrier enclosures.
Concrete crushers or pavement saws	Pre-augur pile holes to reduce the duration of impact or vibratory pile driving and tie to local power grid to reduce the use of generators and shall be enclosed with shields or acoustical barrier enclosures.
Pneumatic hand power tools	All pneumatic tools operated in the City of Aspen must be fitted with an effective silencer on their air exhaust port.

### Noise Blocking Methods

#### Contractors will require all subcontractors and vendors to use:

- Quieter vs. Louder equipment
- "Residential" grade combustion engine exhaust silencers
- Electrical vs. pneumatic hand power tools: All pneumatic tools operated in the City of Aspen must be fitted with an effective silencer on their air exhaust port.
- Hydraulic vs. air powered rock drills
- "Silenced" pile drivers vs. Diesel pile drivers

#### **Temporary Noise Barrier Materials:**

Temporary barriers shall be constructed of 3/4-inch Medium Density Overlay (MDO) plywood sheeting, or other material of equivalent utility and appearance having a surface weight of 2 pounds per square foot or greater. The temporary barriers shall be lined on one side with glass fiber, mineral wool, or other similar noise curtain type noise-absorbing material at least 2-inches. The materials used for temporary barriers shall be sufficient to last through the duration of the construction project, and shall be maintained in good repair. Prefabricated acoustic barriers are available from various vendors. An equivalent barrier design can be submitted in lieu of the plywood barrier described above.



#### Noise Control

- Replace worn, loose, or unbalanced machine parts that cause vibration.
- Keep machine parts well lubricated to reduce friction.
- Acoustical enclosures and barriers around generators
- Sound absorbing material and vibration isolation systems on hand tools
- Shields, shrouds, or intake and exhaust mufflers.
- Noise-deadening material to line hoppers, conveyor transfer points, storage bins, or
- Noise barriers using materials consistent with the Temporary Noise Barrier Materials Section.
- Noise curtains
- Plywood with concrete blankets at the height of the equipment and that it surrounds the activity such that it directs noise up more than out from the property.
- Portable three sided enclosures made out of plywood to move with the activity such as jack hammering.
- Internal combustion engines are to be fitted with a suitable muffler in good repair.



#### Chapter 6.36

#### NOISE ABATEMENT

Sections:	
6.36.010	Declaration of policy.
6.36.020	Definitions and standards.
6.36.030	Noises prohibited.
6.36.040	Use district noise levelsMaximum permissible sound levels
6.36.050	Sound level measurement.
6.36.060	Exemptions.
6.36.070	Permits.
6.36.080	Appeals for permit denial.
6.36.090	Motor vehicle noise.
6.36.100	Enforcement responsibility.
6.36.110	ViolationsPenalties.
6.36.120	Court ordered abatement.

#### 6.36,010 Declaration of policy.

The board of county commissioners finds and declares that noise is a significant source of environmental pollution that represents a present and increasing threat to the public peace and to the health, safety and welfare of the residents of Pitkin County and its visitors. Noise has an adverse effect on the psychological and physiological well being of persons, thus constituting a present danger to the public health, economic and aesthetic well being of the county. Accordingly, it is the policy of the board to provide standards for permissible noise levels in various areas and manners and at various times and to prohibit noise in excess of those levels. Further, it is the policy of the county to permit only that development which will not generate noise which would adversely impact land uses or occupants thereof. (Ord. 99-38 § 1: Ord. 92-6 § 1)

#### 6.36.020 Definitions and standards.

All terminology used in this chapter and not defined below shall be in conformance with applicable American National Standards Institute publications SI.4-1971 or its successor publications. For the purposes of this chapter, certain words and phrases used are defined as follows:

"'A' weighted sound pressure level" means the sound pressure level, as measured with a sound level meter using the A-weighing network. The standard notation is dB(A) or dBA.

"Ambient sound pressure level" means the sound pressure level or the allencompassing noise associated with a given environment usually a composite of sounds from many sources. It is also the A-weighted sound pressure level exceeded ninety (90) percent of the time based on a measurement period which shall not be less than ten (10) minutes.

"Business district" means an area zoned as defined in the Pitkin County Land Use Code, including but not limited to areas designated B-1, B-2, PUB, VC and as such designations may be amended.



"Construction activities" means any and all activity incidental to the erection, demolition, assembling, altering, installing or equipping of buildings, structures, roads or appurtenances thereto, including land clearing, grading, excavating and filling.

Construction District. A "floating district," for the purposes of this chapter, is defined as a site of ongoing construction activity. This designation will be in effect only for the duration of said activity or for the dates of any applicable building permit at a designated site, whichever is shorter. This designation may occur in any of the zone districts as defined in the Pitkin County Land Use Code.

"Continuous noise" means any sound which exists, essentially without interruption, for a period of ten (10) minutes or more.

"Cyclically varying noise" means any sound which varies in sound level such that approximately the same level is obtained repetitively at reasonably uniform intervals of time.

"Decibel" means logarithmic and dimen-sionless unit of measure often used in describing amplitude of sound. Decibel is symbolized by the letters "dB."

"Department" means the Aspen/Pitkin environmental health department.

"Device" means any mechanism which is intended to produce, or which actually produces, noise when operated or handled.

"Emergency vehicle" means a motor vehicle authorized to have sound warning devices such as sirens and/or bells and/or air horns which may lawfully be used when responding to an emergency or during a police activity.

"Emergency work" means work made necessary to restore property to a safe condition following an unusual event, or work required to protect persons or property from exposure to danger. This includes, but is not limited to, snow, ice, mud and debris removal from public rights-of-way.

"Grounds maintenance equipment" means that equipment necessary to maintain yards, parks and lots which includes but is not limited to lawn mowers, edgers, trimmers, tillers and chain saws.

"Impulsive noise" means a noise containing excursions usually less than one second measured with the sound level meter set in the "fast" meter mode.

"Industrial district" means an area zoned as defined in the Pitkin County Land Use Code under the subheading of "I."

"Motor vehicle" means any vehicle which is propelled by mechanical power, including, but not limited to, passenger cars, trucks, truck-trailers, campers, motorcycles, mini bikes, mopeds, semi-trailers, go-carts, snowmobiles and racing vehicles.

"Muffler" means an apparatus consisting of a series of chambers or baffle plates designed for the purpose of transmitting gases while reducing sound emanating from such apparatus.

"Noise" means a sound which is measured as the sound pressure level in decibels (dB) which is unwanted or which causes or tends to cause an adverse psychological or physio-logical effect on human beings.

"Nuisance" means the doing of or the failure to do something which allows or permits noise to be emitted from any source(s) in excess of the standards of this chapter.

Percentile Sound Pressure Level.

- "Tenth percentile noise level" means the "A" weighted sound pressure level that is exceeded ten (10) percent of the time in any measurement period (such as the level that is exceeded for one minute in a ten (10) minute period) and is denoted "L 10."
- "Ninetieth percentile noise level" means the "A" weighted sound pressure level that is exceeded ninety (90) percent of the time in any measurement period (such as the level that is exceeded for nine minutes in a ten (10) minute period) and is denoted "L 90."

"Person" means any human being, firm, association, organization, partnership, business, trust, corporation, company, contractor, supplier, installer, user, owner or operator, including any municipal corporation, state or federal government agency, district, and any officer or employee thereof.

"Plainly audible noise" means any noise for which the information content of the noise is unambiguously transferred to the listener, such as, but not limited to, understanding of spoken speech, comprehension of whether a voice is raised or normal, or comprehension of musical rhythms.

"Premise" means any building, structure, land, utility or portion thereof, including all appurtenances, and shall include yards, lots, courts, inner yards and real properties without buildings or improvements, owned or controlled by a person.

"Property boundary" means an imaginary line exterior to any enclosed structure. at the ground surface, and its vertical extension, which separates the real property owned by one person from that owned by another person and separates real property from the public premise, or in multiple dwelling units from adjoining units.

"Public right-of-way" means any street, avenue, boulevard, highway, alley, sidewalk, mall or similar place which is owned or controlled by a public governmental entity.

"Repetitive impulse noise" means any noise which is composed of impulsive noises that are repeated at sufficiently slow rates such that a sound level meter set at "fast" meter characteristics will show changes in sound pressure levels greater than ten (10) dB(A).

"Residential district" means an area zoned as defined in the Pitkin County Land Use Code, including, but not limited to, areas designated R-6, R-15, R-15A, R-30, MHP, AH, AHZ/PUD, AH3/PUD, AHO/PUD, AFR-1, AFR-2, AFR-10, AF-SKI, RS-20 PUD, RS-30 PUD, RS-160 PUD, AR-1, AR-2, T, SR, VR, RR, U and as such designations may be amended.

"Sound" means a temporal and spatial oscillation in pressure, or other physical quantity, in a medium with interval forces that causes compression and rarefaction of that medium, and which propagates at finite speed to distance points.

"Sound level meter" means an instrument, including a microphone, amplifier, RMS detector and integrator, time averager, output meter and/or visual display and weighing networks, that is sensitive to pressure fluctuations. The instrument reads sound pressure level when properly calibrated and is of Type 2 or better as specified in American National Standards Institute Publication S1.4-1971 or its successor publications.

"Sound pressure" means an instantaneous difference between the actual pressure and the average or barometric pressure at a given point in space due to sound.

"Sound pressure level" means twenty (20) times the logarithm to the base ten (10) of the ratio or the pressure of a sound to the reference pressure of twenty (20) micronewtons per square meter (20 × 106 newtons/meter2), and is expressed in decibels.

Special Review. For a land use allowed under the special review designation, the allowable noise level will be governed by the predominate use of that zone as it exists prior to special review use being allowed to function.

"Steady noise" means a sound pressure level which remains essentially constant during the period of observation, i.e., does not vary more than six dB(A) when measured with the "slow" meter characteristic of a sound level meter.

"Use district" means those districts established by the Pitkin County zoning ordinance and those established by this chapter. (Ord. 99-38 § 2: Ord. 92-6 § 2)

#### 6.36.030 Noises prohibited.

- General Prohibitions. In addition to the specific prohibitions outlined in subsection B of this section, and Sections 6.36.040 and 6.36.080, it is unlawful for any person to make, continue, or cause to be made or continued any noise as defined in Section 6.36.020, within the unincorporated areas of Pitkin County.
- Specific Prohibitions. The following acts are declared to be in violation of B this chapter.
- Horns and Signaling Devices. Sounding of any horn or signaling device on 1. any truck, automobile, motorcycle, emergency vehicle or other vehicle on any street or public place within unincorporated areas of Pitkin County, except as a danger warning signal, or the sounding of any such signaling device for an unnecessary and unreasonable period of time, which period is deemed herein to be any time after which the danger being warned against is clearly passed.
- Radios, Television Sets, Musical Instruments, Tape Players, Record Players and Similar Devices.
- Using, operating or permitting the use or operation of any radio receiving set, musical instrument, television, tape player, compact disc player or other machine or device for the production or reproduction of sound, except as provided for in subsection (B)(3) of this section, in such a manner to violate Section 6.36.040;
- The operating of any such device in such a manner as to be plainly audible at twenty-five (25) feet from such device when operated within a vehicle parked or moving on a public right-of-way.
  - 3. Public Loud Speakers.
- Using or operating a loudspeaker or sound amplifying equipment in a fixed or movable position, or mounted upon any vehicle; located in or upon private property or upon any street, alley, sidewalk, mall, park, place or any public property for the purpose of entertainment, commercial advertising, giving instructions, directions, talks, addresses, lectures or transmitting music to any persons or assemblages or persons in such a manner as to violate Section 6.36.040 unless a permit as provided in Section 6.36.070 is first obtained.
- This subsection does not apply to any person who is participating in a parade for which a parade permit has been issued by the county.
- Animals. Owning, keeping, possessing or harboring any animal or animals, including birds, which by frequent or habitual noise making, violate(s) Section



6.36.040. The provisions of this section shall apply to all public and private facilities, including any animal pounds, which hold or treat animals.

- Construction Work. Operating, or causing to be used or operated, any equipment, mechanical or nonmechanical, self-propelled or manually manipulated used in construction, repair, alteration or demolition work on buildings, structures, streets, alleys or appurtenances, as follows:
  - In residential districts between the hours of seven p.m. and seven a.m.;
  - b. In residential zones on Sundays and federally recognized holidays;
- In all other districts except residential zones on Sundays and federally C. recognized holidays between the hours of seven p.m. and nine a.m.;
- In any defined districts where such operation exceeds the sound level limits for a floating construction district as set forth in Section 6.36.040;
- This section shall not apply to emergency work as defined in Section 6.36.020, but such work shall be exempted only for the minimum period of time necessary to conclude the emergency repair(s) and restore property to a safe condition.
- Racing Event. Permitting any motor vehicle endurance or racing event in any use district in such a manner as to violate Section 6.36.040.
- Defect in Vehicle. Operating or permitting to be operated or used any truck, automobile, motorcycle, or other motor vehicle which, by virtue of disrepair, lack of maintenance or fact or manner or operation, violates Section 6.36,080.
- Refuse Compacting Vehicles. The operating or causing or permitting to be operated or used any refuse compacting vehicle which creates a sound pressure level in excess of seventy-five (75) dB(A), at twenty-five (25) feet from the vehicle during loading, unloading and compaction cycles.
- Bells, Alarms and Fixed Sirens. Sounding, operating or permitting to be sounded, or operating an electronically amplified signal from any burglar alarm, vehicle alarm, bell, chime or clock, horn or siren which exceeds the standards set forth in Section 6.36.040 for more than ten (10) aggregated minutes in any one hour.
- Recreational Vehicles. Operating a recreational vehicle such as, but not limited to, a dirt bike or snowmobile in a manner which violates Section 6.36.080.
  - 11. Mufflers Required.
- It is unlawful for any person to operate a motor vehicle which shall not at all times be equipped with a muffler upon the exhaust thereof in good working order.
- It is unlawful for any person operating a motor vehicle to use a cut-out, b. by-pass or similar muffler elimination device.
  - Motor or Motor Vehicle Repairs or Testing. 12.
- The commercial, nonconstruction or private repairing, building, rebuilding or testing of any truck, automobile, motorcycle or other motor or motor vehicle including grounds maintenance equipment within the unin-corporated areas of the county shall be subject to the maximum permissible sound pressure level for the district in which the sound is located.
- b. The floating construction district maximum permissible levels may not be applied to this use.
- Fireworks. The discharge of fireworks or other similar explosive devices at any time or in any manner except as expressly allowed under a permit issued pursuant to Section 6.36.070. (Ord. 99-38 § 3: Ord. 92-6 § 3)

6.36,040 Use district noise levels--Maximum permissible sound levels.

It shall be a violation of this chapter for any person to operate or permit to be operated any stationary source of sound in such a manner as to create a ninetiethpercentile sound pressure level (L90) of any measurement period (which shall not be less than ten (10) minutes unless otherwise provided in this chapter) which exceeds the limits set forth for the following receiving land use districts when measured at the property boundary or at any point within the property affected by the noise:

Use District	Night	Day
	7p.m	7a.m
	7a.m.	7p.m.
Residential	50 dB(A)	55 dB(A)
Business	55 dB(A)	65 dB(A)
Industrial	55 dB(A)	65 dB(A)
Construction	70 dB(A)	80 dB(A)

For restricted days and times in residential zones see Section 6.36.030(B)(5)(b) and (c).

When a noise source can be identified and its noise measured in more than one land use category, the limits of the most restrictive use shall apply at the boundaries between the different land use categories. This provision shall not apply when the least restrictive use is a floating construction district, in which case the limits applicable to the construction district shall apply, notwithstanding the boundaries of the more restrictive uses, because of the temporary nature of the construction use. (Ord. 99-38 § 4: Ord. 92-6 § 4)

#### 6.36.050 Sound level measurement.

Sound level measurements shall be made with a sound level meter using the "A" weighing scale, in accordance with standards promulgated by the American National Standards Istitute or other reasonable standards tested and adopted by the Aspen/Pitkin environmental health department. (Ord. 99-38 § 5: Ord. 92-6 § 5)

#### 6.36.060 Exemptions.

The following uses and activities shall be exempt from noise level regulations:

- Noise of safety signals, warning devices and emergency pressure relief valves, except as provided for in Section 6.36.030(B)(1);
- Noise resulting from any authorized emergency vehicle when responding B. to an emergency call or acting in time of emergency;
- Noise resulting from emergency work, as further provided for in Section C. 6.36.030(B)(5)(d);
- Noise resulting from activities of a temporary duration for which a permit D. has been approved by the director of the Aspen/Pitkin environmental health department in accordance with Section 6.36.070. (Ord. 99-38 § 6: Ord. 92-6 § 6)



#### 6.36,070 Permits.

Applications for a permit for relief from noise restrictions in this chapter on the basis of undue hardship or special circumstances may be made to the Aspen/Pitkin environmental health department. Any permit granted by the director of the Aspen/Pitkin environmental health department or an authorized representative shall contain all conditions upon which the permit has been granted, including, but not limited to, the effective dates, any time(s) of day, location, sound pressure level, or equipment limitation. The permit may be granted upon good and sufficient showing:

- A. That additional time is necessary for the applicant to alter or modify his or her activity or operation to comply with this chapter; or
- That the activity, operation or noise source will be of temporary duration and cannot be done in a manner that would comply with this chapter; or
  - That no reasonable alternative is available to the applicant.

The director of environmental health may prescribe any reasonable conditions or requirements deemed necessary to minimize adverse effects upon the community or the surrounding neighborhood. (Ord. 99-38 § 7: Ord. 92-6 § 7)

#### Appeals for permit denial.

If an application for a permit for relief from noise restrictions in this chapter is denied by the director of the Aspen/Pitkin environmental health department or an authorized representative, the applicant may appeal to the board of county commissioners. (Ord. 99-38 § 8: Ord. 92-6 § 8)

6.36,090 Motor vehicle noise.

No person shall drive, operate or emit knowingly permit to be driven or A. moved, a motor vehicle or combination of vehicles at any time in such a manner as to exceed the following noise limits for the category of motor vehicle shown below. Noise shall be measured at a distance of at least fifty (50) feet or more from the center of the lane of travel or fifty (50) feet or more from a vehicle designed for off highway use with the sound level meter at least four feet above the immediate surrounding surface.

Sound Pressure Level dB(A) Speed Limit <35 >35 mph mph Motor vehicles 86 90 with a manufacturer's gross vehicle weight rating (GVWR) or gross com-bination weight rating (GCWR) 10,000 pounds or more or by any combination of ve-hicles towed by such motor vehicle. Any other motor 82 86 ve-hicle or any combin-ation of vehicles towed by any motor vehicle.

- This section shall apply to the total noise from a vehicle or combination of B. vehicles and should not be construed as limiting or precluding enforcement of any other provisions of this chapter relating to motor vehicle mufflers for noise control. (Ord. 99-38 § 9: Ord. 92-6 § 9)
- 6.36.100 Enforcement responsibility.
- The director of the Aspen/Pitkin environmental health department is created noise ordinance enforcement officer for Pitkin County. The department shall have primary, but not exclusive, enforcement responsibility for this chapter. The director may appoint deputy noise enforcement responsibility for this chapter. The director may appoint deputy noise enforcement officers from among members of the department, members of the Pitkin County sheriff's department or other county departments as



appropriate. The director shall be responsible for creating and administering a program of enforcement certification for the deputies covering the terms of this chapter and the operation of the instruments used in enforcement activities.

- For purposes of this chapter, measurements with sound level meters shall be when the wind velocity is less than twenty (20) miles per hour.
- In all sound level measurements, consideration shall be given to the effect of the ambient noise level created by the encompassing noise from all sources at the time and place of such sound level measurement.
- This chapter is not intended to apply to the operation of aircraft or to other activities which are subject to federal law with respect to noise abatement. (Ord. 99-38 § 10: Ord. 92-6 § 10)

#### 6.36.110 Violations--Penalties.

Any person violating any provision of this chapter may be punished by a fine of not more than six hundred dollars (\$600.00), and/or by imprisonment for a period of not more than ten (10) days. Such fine and imprisonment is at the discretion of the court. Each day this chapter is violated shall constitute a separate offense. (Ord. 99-38 § 11: Ord. 92-6 § 11)

#### 6.36,120 Court ordered abatement.

Violations of Sections 6.36.030 through 6.36.080 are deemed and declared to be a nuisance, and as such may be subject to summary abatement by means of a restraining order or injunction issued by a court of competent jurisdiction. (Ord. 99-38 § 12: Ord. 92-6 § 12)



#### 11.4 Noise Level Measurements and Monitoring

Noise level measurements shall be made with a sound level meter using the "A" weighting scale set on "slow" response.

Measurements shall be taken at the property line of the site. The meters shall be used according to manufacturer specifications.

Background noise levels may be taken for comparison with a given source for accuracy of a measurement. Extraneous or momentary spikes in the background noise readings shall not be used to compare with the source noise readings.

Enforcement actions will be taken if the source of the noise is greater than the permissible levels.

Major construction sites that require reinforced earth stabilization will be required to perform continued noise monitoring. Additionally, sites that receive two correction notices or one red tag for noise violations will be required to provide continued noise monitoring.

This monitoring must be recorded and be made available remotely through online access to the City's Construction Mitigation Officer.

Reference the attached information for the noise monitoring device on the following page.



#### 12.0 **Enforcement**

A City Construction Manager will be assigned to the project. The City Construction Manager will conduct random site visits to determine if the project is following the approved CMP and the City requirements. The officer is not intended to take the place of the City of Aspen Building Inspector.

The City of Aspen will enforce construction mitigation as follows:

- 1. The first corrective action is a verbal warning and explanation of the violation with time frame for correction
- 2. The second corrective action is a written warning or correction notice with time frame for compliance
- 3. The third and final notice is a "Stop Work Order" (red tag). If a stop work order is issued no more work can be completed until the violation is corrected

Failure to correct violations and/or any threat to public safety could subject the owner, contractor or both to a maximum penalty of up to a year in jail and/or a fine of up to \$2,650 for each violation. Each day a violation continues is a separate offense determined by the municipal court.

The Construction Mitigation Officer will complete construction inspection reports. All reports are public and will be kept in the City Engineering Asset Management Department.